



**Addendum # 2**

NJSDA  
1 West State Street  
Trenton, NJ 08625  
Phone: 609-943-5955  
Fax: 609-656-4609

**Date:** March 1, 2013  
**PROJECT #:** NT-0003-C02 RB1  
**DESCRIPTION:** New Phillipsburg High School

This addendum shall be considered part of the Bid Documents issued in connection with the referenced project. Should information conflict with the Bid Documents, this Addendum shall supercede the relevant information in the Bid Documents.

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**A. CHANGES TO THE PROCUREMENT PROCESS OR RFP DOCUMENTS**

**1. Revisions to Request for Proposals**

- a. **REVISE:** Section 1.3.C, Lump Sum Price Proposal, Second Paragraph, shall be revised as follows (additions in **bold and underlined** text; deletions in *strikethrough and italics*):

A Bidder may not submit a Price Proposal that exceeds its Project Rating Limit for a project. A Bidder may not submit a Price Proposal that exceeds its Aggregate Limit, or which causes any one of the Subcontractors *named in the Price Proposal* **required to be named, as described in Section 4.2 (Required Classification, Identification of Required Subcontractors, and Submittals) herein** to exceed that Subcontractor's Aggregate Limit.

- b. **REVISE:** Section 3.1, Bidder's Experience on Projects of Similar Size, Cost and/or Complexity, Fourth Paragraph, shall be revised as follows (additions in **bold and underlined** text; deletions in *strikethrough and italics*):

Where applicable, the case studies shall demonstrate the Bidder's experience working with the Subcontractors *named in the Price Proposal* **required to be named, as described in Section 4.2 (Required Classification, Identification of Required Subcontractors, and Submittals) herein**.

- c. **REVISE:** Section 3.2, Key Team Members' Experience on Projects of Similar Size, Cost and/or Complexity, shall be revised as follows (additions in **bold and underlined** text; deletions in *strikethrough and italics*):

Utilizing the **Identification of Required Subcontractors Form and** Key Team Member Resume form(s) provided by the Authority, the Bidder shall provide the following to show the qualifications of its team:

- d. **REVISE:** Section 3.2.1, shall be revised as follows (additions in **bold and underlined** text; deletions in *strikethrough and italics*):

3.2.1 The Bidder shall provide an Organizational Chart showing the Key Team Members identified for the Project. At a minimum, the organizational chart shall identify the Key Team Members, the Contractor and the *named* Subcontractor entities ~~*included in the Price Proposal*~~ **required to be named, as described in Section 4.2 (Required Classification, Identification of Required Subcontractors, and Submittals) herein**, their responsibilities, structure, and lines of authority. The following minimum Key Team members shall be identified by name:

- e. **REVISE:** Section 3.2.6, shall be revised as follows (additions in **bold and underlined** text; deletions in *strikethrough and italics*):

3.2.6 Utilizing the form provided by the Authority, the Bidder shall submit resumes of those employees designated as Key Team Members for the Project, and such resumes shall demonstrate the Key Team Members' project management experience on projects of similar size, scope and complexity as the Project, and shall demonstrate the Key Team Members' experience working with the *named* Subcontractors **required to be named, as described in Section 4.2 (Required Classification, Identification of Required Subcontractors, and Submittals) herein**, where applicable.

- f. **REVISE:** Section 4.2, Price Proposal, Fifth Paragraph, shall be revised as follows (additions in **bold and underlined** text; deletions in *strikethrough and italics*):

All bidders **must** submit a copy of the Uncompleted Contracts Form for themselves and for any subcontractor **required to be named, as described in Section 4.2 (Required Classification, Identification of Required Subcontractors, and Submittals) herein**, or identified in the bid advertisement. Failure to submit an Uncompleted Contracts Form with the Price Proposal will result in rejection of the bid. Uncompleted Contracts forms submitted by the Contractor and any required Subcontractors must reflect accurate and timely information. The amount set forth in the Uncompleted Contracts Form must reflect the amount of uncompleted work as of the date of the bid submission, or the date of the response to the RFP. In no instances will Uncompleted Contracts forms be acceptable where the date of the Form is greater than 120 days prior to the due date for bid or proposal submissions.

- g. **REVISE:** Section 4.2.2, Required Classification, Identification of Required Subcontractors, and Submittals, Second Paragraph, shall be revised as follows (additions in **bold and underlined** text; deletions in *strikethrough and italics*):



In accordance with the requirements of N.J.S.A. 52:18A-243, each bidder will also be required to set forth in its bid the name or names of all subcontractors to whom the bidder will directly subcontract for the furnishing of any of the work and materials specified in the plans and specifications for the following branches: (1) the plumbing and gas fitting and all work and materials kindred thereto (“Plumbing Branch”); (2) the steam and hot water heating and ventilating apparatus, steam power plants and all work and materials kindred thereto (“HVAC Branch”); (3) the electrical work (“Electrical Branch”); and (4) structural steel and miscellaneous iron work and materials (“Structural Steel Branch”). ~~All such named subcontractors must be NJSDA prequalified.~~

**When naming subcontractors in accordance with this section, a bidder is required to name only those subcontractors that are engaged directly by the Bidder (“first-tier subcontractors”). Bidders are NOT REQUIRED to name any subcontractors engaged by the first-tier subcontractors or by others (e.g., “second-tier subcontractors” or “third-tier subcontractors.”)**

**All subcontractors required to be named under this section must be NJSDA prequalified by the NJSDA as of the submittal due date for Technical Proposals and Price Proposals.** Each bidder shall adhere to the following instructions in its identification of all subcontractors with whom the bidder will contract in the four branches:

- h. **ADD:** Add the following language after the Sixth Paragraph of **Section 4.2.2, Required Classification, Identification of Required Subcontractors, and Submittals**, as follows (additions in **bold and underlined** text; deletions in ~~strikethrough and italics~~):

Structural Steel Branch: The bidder must identify a subcontractor that is DPMC classified in the trade of Structural Steel (C029), unless the bidder intends to self-perform for this trade. If the bidder intends to self-perform, the bidder must identify itself as self-performing in the trade of Structural Steel (C029). If the bidder will contract with any additional subcontractors with DPMC Trade Classifications in the Structural Steel trade or other trades applicable to this branch, each such additional subcontractor must be identified.

**If a bidder intends to self-perform any of the work of four above-described branches of Work, and is DPMC classified and NJSDA prequalified to do so, the bidder shall so indicate and include the required information where called for in the Technical Proposal and Price Proposal.**

- i. **REVISE:** **Section 4.2.2, Required Classification, Identification of Required Subcontractors, and Submittals**, at Page 23, shall be revised as follows (additions in **bold and underlined** text; deletions in ~~strikethrough and italics~~):
- “Total Amount of Uncompleted Contracts” form as provided by the Authority and completed by the respective subcontractor(s) for any subcontractor ~~identified in the bid~~

*advertisement* required to be named, as described in Section 4.2 (Required Classification, Identification of Required Subcontractors, and Submittals) herein.

- Uncompleted Contracts forms submitted by the Contractor and any *required* Subcontractors required to be named, as described in Section 4.2 (Required Classification, Identification of Required Subcontractors, and Submittals) herein must reflect accurate and timely information. The amount set forth in the Uncompleted Contracts Form must reflect the amount of uncompleted work as of the date of the bid submission, or the date of the response to the RFP. In no instances will Uncompleted Contracts forms be acceptable where the date of the Form is greater than 120 days prior to the due date for bid or proposal submissions.

- j. **REVISE:** Section 4.2.2, Required Classification, Identification of Required Subcontractors, and Submittals, Last Paragraph, shall be revised as follows (additions in **bold and underlined** text; deletions in *strikethrough and italics*):

The Authority requests that every Bidder submit the following:

- Copies of their current, valid certificates of registration issued pursuant to “The Public Works Contractor Registration Act,” P.L. 1999, c. 238; for the Bidder and subcontractors *in the trades listed in the Bid Advertisement* required to be named, as described in Section 4.2 (Required Classification, Identification of Required Subcontractors, and Submittals) herein.
- Copies of their current Classification Notice with the Department of Treasury, Division of Property Management and Construction; for the Bidder and subcontractors *in the trades listed in the Bid Advertisement* required to be named, as described in Section 4.2 (Required Classification, Identification of Required Subcontractors, and Submittals) herein.
- Copies of their current, valid Business Registration Certificate for State Agency and Casino Service Contractors issued by the Department of the Treasury, Division of Revenue, for the Bidder and subcontractors *in the trades listed in the Bid Advertisement* required to be named, as described in Section 4.2 (Required Classification, Identification of Required Subcontractors, and Submittals) herein.
- Copies of all current, valid contractor or trade licenses and permits required under applicable New Jersey law, for the Bidder and subcontractors *in the principal trades listed in the Bid Advertisement* required to be named, as described in Section 4.2 (Required Classification, Identification of Required Subcontractors, and Submittals) herein.
- Copies of their current, valid Prequalification Notice with the New Jersey Schools Development Authority, for the Bidder and subcontractors *in the principal trades listed in the Bid Advertisement* required to be named, as described in Section 4.2 (Required Classification, Identification of Required Subcontractors, and Submittals) herein.

- k. **REVISE:** Section 4.5, Price Proposal Evaluation Criteria and Procedures, shall be revised as follows (additions in **bold and underlined** text; deletions in *strikethrough and italics*):

The Authority, in determining the successful Bidder, will evaluate the Price Proposals for responsiveness, including but not limited to verifying that:

- The submission of a valid Bid Bond in the proper amount;
- The Bidder and all subcontractors are classified, pre-qualified, registered and licensed as required by the Bid Advertisement;
- The award of the contract in addition to the Bidder's uncompleted work will not exceed the Aggregate Rating of the Bidder; and
- The award of the contract in addition to the uncompleted work of any Subcontractor *named in the Price Proposal* **required to be named, as described in Section 4.2 (Required Classification, Identification of Required Subcontractors, and Submittals) herein**, will not exceed the Aggregate Rating of such Subcontractor.

- l. **REVISE:** Section 5, Award Requirements, Page 26, Tenth Bullet Point, shall be revised as follows (additions in **bold and underlined** text; deletions in *strikethrough and italics*):

- Business Registration Certificates for State Agency and Casino Service Contractors issued by the Department of Treasury, Division of Revenue for all subcontractors *identified in the bid advertisement* **required to be named, as described in Section 4.2 (Required Classification, Identification of Required Subcontractors, and Submittals) herein**;

## 2. Revisions to RFP Forms

- a. **ADD:** "IDENTIFICATION OF REQUIRED SUBCONTRACTORS" Form, issued herewith as Attachment 2.1.

## **B. CHANGES TO THE PROJECT MANUAL:**

### 1. Revisions to General Conditions

- a. **REVISE:** Supplementary Conditions Article 5.0, Section 5.2.1 (Deadlines for Substantial Completion and Final Completion) shall be supplemented as follows (additions in **bold and underline** text):

- 5.2.1 Specific Durations. The dates and durations listed below shall be incorporated into the Contractor's Schedule and shall be adhered to unless modified in writing by mutual agreement between the Contractor and the Authority. The only exceptions to these durations are defined in the General Conditions under Section 8.5 FORCE MAJEURE AND OTHER CHANGES WARRANTING AN ADJUSTMENT IN THE CONTRACT TIME.

\* \* \*



- D. Substantial Completion: To be achieved within **913** calendar days from date of Construction Notice to Proceed.
- E. Final Completion: To be achieved within **60** calendar days from date of Substantial Completion.

b. **REVISE:** Section 18.4.5 shall be revised as follows (additions in **bold and underlined** text; deletions in *strikethrough and italics*):

23.4.5 The Contractor and its Subcontractors agree to attempt in good faith to employ minority and female workers consistent with the applicable county employment goals prescribed by N.J.A.C. ~~17:27-5.2~~ **17:27-7.2**, as amended and supplemented from time to time or in accordance with a binding determination of the applicable county employment goals determined by the Department of Treasury, Division of Purchase and Property Contract Compliance Audit Unit EEO Monitoring Program, or any successor entity thereto (hereinafter "Division") pursuant to N.J.A.C. ~~17:27-5.2~~ **17:27-7.2**, as amended and supplemented from time to time.

## 2. Revisions to the Supplementary Conditions

a. **REVISE:** Supplementary Conditions Article 5.0, Section 5.2.1 (Deadlines for Substantial Completion and Final Completion) shall be **modified** as follows (additions in **bold and underline** text):

24.2.1 Specific Durations. The dates and durations listed below shall be incorporated into the Contractor's Schedule and shall be adhered to unless modified in writing by mutual agreement between the Contractor and the Authority. The only exceptions to these durations are defined in the General Conditions under Section 8.5 FORCE MAJEURE AND OTHER CHANGES WARRANTING AN ADJUSTMENT IN THE CONTRACT TIME.

\* \* \*

- D. Substantial Completion: To be achieved within ~~987~~ **913** calendar days from date of Construction Notice to Proceed.
- E. Final Completion: To be achieved within ~~90~~ **60** calendar days from date of Substantial Completion.

## 3. Revisions to the Specifications

a. **REPLACE:** Specifications, Division 1, Section 01010 – Summary of Work, dated 9/26/2012, **WITH** revised Specifications, Division 1, Section 01010 Summary of Work dated 3/1/2013, issued herewith as Attachment 2.2.

**C. BIDDER QUESTIONS AND NJSDA RESPONSES:**

**1. Question: Built-In Equipment drawings BE-7, 8, 9 and 11 have numerous items listed without manufacturers names and/or model numbers. Please complete this information so that the bidders understand what is required for this project.**

**Answer:** Refer to Items 2.12.a, 2.12.b, 2.12.c, 2.12.d, below for modifications to the Drawings in question.

**2. Question: The sprayed acoustic insulation applied to the underside of the roof deck shown on section 6C/A-3.1.2, appears only above the stage area. Is it to be applied to the underside of the roof deck for the entire auditorium?**

**Answer:** Acoustical Cellulose Spray to be applied on entire underside of roof deck above stage. Refer to drawing A-5.3.3

**3. Question: Are there any projector mounts required for this Project?**

**Answer:** Refer to specification section 26 55 61 for projector Hoist.

**4. Question: Are there any projector screens required to be installed in the classrooms?**

**Answer:** Projector Screen locations are outlined in Specification section 26 55 61, paragraph 2.32 (Auditorium / Gymnasium Projection Screens) & Paragraph 2.33 (Lecture Hall Projection Screens).

**5. Question: Please confirm that the interactive boards are not required by the bidders.**

**Answer:** Refer to drawing T-2.1.1 Electronic Whiteboards are not included in the contract. Contractor is responsible to coordinate with SDA to provide power, data, etc for Electronic whiteboards.

**6. Question: The construction details for the Pump House on drawings SW-2, SW-18 and S-7.0.0 differ. Please confirm what drawing is to be used for the construction of All drawings are to be used. Generally speaking, refer to drawing S-7.0.0 for foundation - floor slab design and SW -2 & SW-18 for pump house walls and roof.**

**Answer:** Bidders are to follow details on the SW-18 drawing in conjunction with the specification section 32 32 30 for the Pump house shell (walls, roof, structure, finishes, doors, window, hardware, etc.) Bidders to follow the S-7.0.0 for the foundation plan. Bidders may ignore the R-1 & R-2 details, Roof Framing Plan and the Prefabricated Metal Stud Trusses Notes on the S-7.0.0 drawing. Contractor will

be required to submit signed & sealed plans of the Pump House structure, indicating that pumps the pump house meets or exceeds the criteria listed in the 2006 IBC code table as shown on the S-7.0.0 drawing.

7. **Question:** **Are bidders required to name their Sheet Metal subcontractor with DPMC classification CO-46 along with the HVAC subcontractor CO-39 should the named HVAC subcontractor not have a CO-46 classification?**

**Answer:** The Sheet Metal Subcontractor is a subcontractor whose work would fall within the "HVAC Branch," as defined in N.J.S.A. 52:18A-243, and thus the Sheet Metal Subcontractor would be required to be named **if the Bidder engages the Sheet Metal subcontractor directly**, as a **first-tier** subcontractor. However, if the HVAC subcontractor with a C0-39 DPMC Classification is the entity directly engaging the Sheet Metal Subcontractor (who would then be a **second-tier** subcontractor to the Bidder), then the Bidder is not required to name the Sheet Metal Subcontractor engaged by the HVAC Subcontractor.

8. **Question:** **Since this is a Re-bid, please advise of any changes to the original bid documents.**

**Answer:** The "bid documents," including the RFP and all Project Manual Documents for this rebid procurement, are the same as issued in the prior, now-cancelled procurement under contract number NT-0003-C02, with the following exceptions:

1) The rebid package documents have been updated throughout to reflect the rebid contract number, NT-0003-C02 RB1;

2) the rebid package includes a revised Request for Proposals, a revised Price Proposal and additional revised RFP forms that vary from the original procurement documents;

3) the rebid package includes a Quality Assurance/Quality Control Manual that was not included in the original procurement documents;

4) the rebid package includes a revised Supplementary Conditions that shows durations for construction that differ from those shown in the original procurement documents;

5) The "bid documents" issued in the original, now-cancelled procurement included an Addendum #1 that modified the bid documents in that procurement. The rebid package incorporates all modifications made in the original Addendum #1 for NT-0003-C02, by including that Addendum #1 in its entirety as an attachment to the first Addendum issued in this rebid procurement, NT-0003-C02 RB1; and

6) This Addendum #2 details changes to the Project Manual and other bid documents relevant to this rebid procurement.

9. **Question:** **Specification Section 220719- Plumbing Piping Insulation paragraph 2.I.B and 3.8 specify "Cellular Glass Insulation" but the manufacturers listed only produce fiberglass insulation. Please confirm fiberglass insulation is acceptable.**



**Answer:** Yes, Fiberglass Insulation is acceptable.

**D. CHANGES TO THE DRAWINGS:**

**1. Revisions to the Drawings:**

- a. Drawing BE-7: BE-6 & BE-7 EQUIPEMENT SCHEDULE, Manufacturer, shall be revised as follows(additions in **bold and underlined** text; deletions in ~~strikethrough and italics~~):

Item 21: **Dayton Bench Grinder (2LKR9)**  
Item 22: **Dayton Buffer (IFYV4)**  
Item 26: **Blick Model II Etching Press (45031-1001)**  
Item 34: **Dayton Buffer/Grinder (16W006)**  
Item 35: **Hot Box (HF013027023)**  
Item 39: **Brent Model "C" Potter's Wheel (with splash pan)**  
Item 41: **Brent Clay Extruder**

- b. Drawing BE-8: BE-8 EQUIPEMENT SCHEDULE, Manufacturer, shall be revised as follows(additions in **bold and underlined** text; deletions in ~~strikethrough and italics~~):

Item 18: **CASE SYSTEM MT3080**  
Item 41: **CRAFTSMAN 12" RADIAL SAW (11319790)**

- c. Drawing BE-9: BE-9 EQUIPEMENT SCHEDULE, Manufacturer, shall be revised as follows(additions in **bold and underlined** text; deletions in ~~strikethrough and italics~~):

Item 12: **Hobart S/S Meat Saw (6614-1)**  
Item 16: **Westward Parts Washer (4KTV8)**  
Item 21: **Klutch 100 lb Blacksmith Anvil**  
Item 23: **Futurecure stand alone spray table (ST-60)**  
Item 37: **Econoline sand blaster (101691G-A)**  
Item 38: **Enviropass (GAT-CAB-SHG)**  
Item 41: **Midwest 64-644 K9 Kennel**

- d. Drawing BE-11: BE-11 EQUIPEMENT SCHEDULE, Manufacturer, shall be revised as follows(additions in **bold and underlined** text; deletions in ~~strikethrough and italics~~):

Item 14: **LifeCore Rower (R100)**  
Item 15: **Nautilus Cable Cross Over (F3CC)**  
Item 19: **Nautilus Shoulder Press (S6SP250-5)**  
Item 32: **Mobile Sports 110 Gallon Hydrotherapy Whirlpool Tub**  
Item 33: **Polar pool by Cold Tub**  
Item 40: **York Dumbell Rack Three Tier (69129)**  
Item 41: **York Olympic Weight Tree (69139)**  
Item 43: **DrMass Full Body Carry Case (L-110100)**  
Item 44: **24" deep 1" thick Exposy top Counter**

2. **REPLACE:** Substitute following drawings, noted as Revision #9, dated 03/01/2013, issued herewith as Attachment 2.3.

**a. SITE DRAWINGS:**

SW-2        SITE PLAN  
SW-5        UTILITY PLAN  
SW-17      CONSTRUCTION DETAILS

**b. ARCHITECTURAL DRAWINGS:**

A-1.1.1      FIRST FLOOR PARTIAL PLAN AREA "A"  
A-1.1.2      FIRST FLOOR PARTIAL PLAN AREA "B"  
A-1.1.3      FIRST FLOOR PARTIAL PLAN AREA "D"  
A-1.1.4      FIRST FLOOR PARTIAL PLAN AREA "E" & "F"  
A-1.2.1      SECOND FLOOR PARTIAL PLAN AREA "A"  
A-1.2.2      SECOND FLOOR PARTIAL PLAN AREA "B"  
A-1.2.3      SECOND FLOOR PARTIAL PLAN AREA "C"  
A-1.2.4      SECOND FLOOR PARTIAL PLAN AREA "D"  
A-1.2.5      SECOND FLOOR PARTIAL PLAN AREA "E"  
A-1.2.6      SECOND FLOOR PARTIAL PLAN AREA "F"  
A-1.3.1      THIRD FLOOR PARTIAL PLAN AREA "A"  
A-2.0.1      PARTIAL BUILDING ELEVATIONS  
A-2.0.2      PARTIAL BUILDING ELEVATIONS  
A-2.0.3      PARTIAL BUILDING ELEVATIONS  
A-2.0.4      PARTIAL BUILDING ELEVATIONS  
A-2.0.5      PARTIAL BUILDING ELEVATIONS  
A-2.0.6      PARTIAL BUILDING ELEVATIONS  
A-3.1.0      WALL SECTIONS  
A-3.1.3      WALL SECTIONS  
A-3.1.8      WALL SECTIONS  
A-3.1.9      WALL SECTIONS  
A-3.1.12     WALL SECTIONS  
A-3.1.13     WALL SECTIONS  
A-3.1.14     WALL SECTIONS  
A-3.1.21     WALL SECTIONS  
A-4.0.2      TOILET ROOM DETAILS  
A-5.1.1      FIRST FLOOR PARTIAL REFLECTIVE CEILING PLANS AREA "A"  
A-5.1.2      FIRST FLOOR PARTIAL REFLECTIVE CEILING PLANS AREA "B"  
A-6.0.1      TYPICAL LARGE SCALE COLUMN / PLAN DETAILS  
A-6.1.12     TYPICAL LARGE SCALE COLUMN DETAILS  
A-6.1.13     TYPICAL LARGE SCALE COLUMN DETAILS  
A-7.0.0      STAIR A-1, B-2 & B-3 PLANS & SECTIONS  
A-8.2.1      ALUMINUM WINDOW FRAME ELEVATIONS  
A-8.2.2      ALUMINUM WINDOW FRAME ELEVATIONS  
A-9.0.1      CUSTOM MILLWORK/WOODWORK

c. BUILT-IN EQUIPEMENT DRAWINGS:

BE-13 BUILT-IN EQUIPMENT PLANS, SECTIONS & SCHEDULE  
BE-14 BUILT-IN EQUIPMENT PLANS, SECTIONS & SCHEDULE

d. STRCUTURAL DRAWINGS:

S-1.1.1 FOUNDATION PLAN – AREA "A"  
S-1.1.2 FOUNDATION PLAN – AREA "B"  
S-1.1.3 FOUNDATION PLAN – AREA "C"  
S-1.1.4 FOUNDATION PLAN – AREA "D"  
S-1.1.8 EXTERIOR PATIO PLANS AND DETAILS  
S-2.1.1 SECOND FLOOR & PART. ROOF FRAMING PLAN AREA "A"  
S-2.1.2 SECOND FLOOR FRAMING PLAN – AREA "B"  
S-6.1.3 SECTIONS

**E. ATTACHMENTS:**

Attachment 2.1 "IDENTIFICATION OF REQUIRED SUBCONTRACTORS" Form  
Attachment 2.2 Revised Specifications, Division 1, Section 01010 Summary of Work dated 3/1/2013  
Attachment 2.3 Drawings dated 03/01/2013



NJSDA  
Aruna Reddy, Program Officer

03/01/2013

Date

----- End of Addendum No. 2 -----



**<Addendum # 2>**

NJSDA  
1 West State Street  
Trenton, NJ 08625  
Phone: 609-943-5955  
Fax: 609-656-4609

**Date: March 1, 2013**

**PROJECT #:** NT-0003-C02 RB1

**DESCRIPTION:** New Phillipsburg High School

**Addendum No. 2**

**Acknowledgement of Receipt of Addendum**

Contractor must acknowledge the receipt of the Addendum by signing in the space provided below and returning via fax to (609-656-4609). Signed acknowledgement must be received prior to the Bid Due Date. Acknowledgement of the Addendum must be made in Section E.6 of the Price Proposal Submission.

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Print Name

\_\_\_\_\_  
Company Name

\_\_\_\_\_  
Date

## Attachment 2.1

# Identification of Required Subcontractors

**IDENTIFICATION OF REQUIRED SUBCONTRACTORS**

**LIST ALL REQUIRED/APPLICABLE SUBCONTRACTORS as indicated in section 1.3 of the RFP ("Identification and Prequalification")**

**PLUMBING BRANCH WORK: (DPMC Classification Plumbing (C030) Required)**

\_\_\_\_\_ DPMC CLASSIFICATION C030  
Firm

**Bidder will Self-Perform: Yes \_\_\_\_\_ No \_\_\_\_\_**

**Additional Plumbing Branch Subcontractor(s): Note DPMC Classification: \_\_\_\_\_**

\_\_\_\_\_ Firm

**Additional Plumbing Branch Subcontractor(s): Note DPMC Classification: \_\_\_\_\_**

\_\_\_\_\_ Firm

**HVAC BRANCH WORK: (DPMC Classification HVAC (C039) Required)**

\_\_\_\_\_ DPMC CLASSIFICATION C039  
Firm

**Bidder will Self-Perform: Yes \_\_\_\_\_ No \_\_\_\_\_**

**Additional HVAC Branch Subcontractor(s): Note DPMC Classification: \_\_\_\_\_**

\_\_\_\_\_ Firm

**Additional HVAC Branch Subcontractor(s): Note DPMC Classification: \_\_\_\_\_**

\_\_\_\_\_ Firm



**IDENTIFICATION OF REQUIRED SUBCONTRACTORS (cont'd)**

**LIST ALL REQUIRED/APPLICABLE SUBCONTRACTORS as indicated in section 1.3 of the RFP ("Identification and Prequalification")**

**ELECTRICAL BRANCH WORK: (DPMC Classification Electrical (C047) Required)**

\_\_\_\_\_ DPMC CLASSIFICATION C047  
Firm

**Bidder will Self-Perform: Yes \_\_\_\_\_ No \_\_\_\_\_**

**Additional Electrical Branch Subcontractor(s): Note DPMC Classification: \_\_\_\_\_**

\_\_\_\_\_ Firm

**Additional Electrical Branch Subcontractor(s): Note DPMC Classification: \_\_\_\_\_**

\_\_\_\_\_ Firm

**STRUCTURAL STEEL AND MISCELLANEOUS IRON WORK: (DPMC Classification Structural Steel (C029) Required)**

\_\_\_\_\_ DPMC CLASSIFICATION C029  
Firm

**Bidder will Self-Perform: Yes \_\_\_\_\_ No \_\_\_\_\_**

**Additional Structural Steel Branch Subcontractor(s): Note DPMC Classification: \_\_\_\_\_**

\_\_\_\_\_ Firm

**Additional Structural Steel Branch Subcontractor(s): Note DPMC Classification: \_\_\_\_\_**

\_\_\_\_\_ Firm

**IDENTIFICATION OF REQUIRED SUBCONTRACTORS (cont'd)**

**LIST ALL REQUIRED/APPLICABLE SUBCONTRACTORS as indicated in section 1.3 of the RFP ("Identification and Prequalification") or in the Bid Advertisement**

**OTHER TRADE CLASSIFICATIONS NAMED IN BID ADVERTISEMENT**

\_\_\_\_\_ Note DPMC Classification: \_\_\_\_\_  
Firm

=====

**OTHER TRADE CLASSIFICATIONS NAMED IN BID ADVERTISEMENT**

\_\_\_\_\_ Note DPMC Classification: \_\_\_\_\_  
Firm

=====

**OTHER TRADE CLASSIFICATIONS NAMED IN BID ADVERTISEMENT**

\_\_\_\_\_ Note DPMC Classification: \_\_\_\_\_  
Firm

## Attachment 2.2

### Section 01010 – Summary of Work

# SECTION 01010 - SUMMARY OF WORK

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## PART 1 - GENERAL

### 1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including but not limited to, General and Supplemental Conditions and other Division 1 Specification Sections, apply to this Section.

### 1.2 RELATED SECTIONS / DOCUMENTS

- A. Section 01020 Allowances
- B. Section 01030 Alternates
- C. Section 01310 Schedules and Reports
- D. Section 01500 Temporary Facilities
- E. Section 310000 Geotechnical Investigation Report (for reference only)

### 1.3 WORK COVERED BY CONTRACT DOCUMENTS

- A. Package Data

1.	Owner:	<b>New Jersey Schools Development Authority 1 W. State Street P.O. Box 991 Trenton, NJ 08625-0991</b>
2.	District:	<b>Phillipsburg School District</b>
3.	Contract #:	<b>NT-0003</b>
4.	Contract Name:	<b>New Phillipsburg High School</b>
5.	Package #:	<b>NT-0003-C02 RB1</b>

- B. The following is a general description of the School Facilities projects contained in this School Facilities Package.

- 1. NJDOE #:4100-N01-04-1000 New Phillipsburg High School  
913 Belvidere Rd,  
Phillipsburg, NJ 08865
- 2. General Description: A new 330,021 GSF high school with the capacity of educating approximately 1846 students in grades nine (9) through twelve (12) located on an approximate 120+ acre site. The building includes general classrooms, Special Education Classrooms, Small Group Instruction rooms, Health Classrooms, Science Demonstration, Chemistry, Multi-Purpose Science, Biology, Physics, Business labs, computer labs, Photo and Graphic Arts labs, 2D & 3D art rooms, Vocal & Instrument music rooms , Student media center, 1,100

## SECTION 01010 - SUMMARY OF WORK

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seat Auditorium with stage & control room, student Cafeteria with Kitchen and Seryery and station gymnasium with combination of fixed and telescoping seating accommodating Weight room, P.E. Locker rooms, Team Locker rooms. High School will also contain Vocational spaces including Agricultural rooms, Materials Lab, Child Development, Foods lab, Textiles, Electronics, Energy/Transportation as well as administrative, Faculty, Health, Student and School Based Youth Services. Construction classification is 1B (Noncombustible / Protected) and is fully sprinklered. First floor is concrete slab on grade, second & third floor construction is concrete slab on metal deck support by steel beam and roof is combination of steel joists, truss or steel beam supporting metal deck construction. Site work includes parking

The contract for the project will require that the awardee perform a Constructability Review of the Contract Documents (including the Plans and Specifications) to identify concerns, conflicts, omissions or other deficiencies in the documents that might affect the schedule or cost of completion of the Work. The Constructability Review Scope of Work is described herein at Subsection 1.6 below. This Constructability Review is intended to identify any issues that may give rise to later changes in the work, so that such issues can be resolved through early modifications to the Contract Documents, before the commencement of construction. This Constructability Review is required of the awardee to augment and underscore the existing contractual obligation to review the Contract Documents and advise NJSDA of any deficiencies therein, to avoid excess costs.

3. The project includes a Constructability Review period that precedes the Construction Work.

C. Bid Documents were prepared for the Project by:

1. **Architect/Engineer:**  
DIGroupArchitecture, LLC (A.K.A.: Design Ideas Group)  
15 Bethany Street, New Brunswick, NJ 07901 and

D. Construction Management Team for the Project by:

1. **Construction Management Firm:**  
Heery International, Inc.  
1717 Arch St. Suite 3730, Philadelphia, PA 19103
2. **Commissioning Agent:**  
Heery International, Inc.  
1717 Arch Street, Suite 3730, Philadelphia, PA 19103

E. NJSDA Site Environmental Consultant for the Project: None. A No Further Action (NFA) letter was issued by the NJDEP for the site on March 25, 2010.

## **SECTION 01010 - SUMMARY OF WORK**

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F. The following additional conditions shall also govern the work:

1. Quality Assurance/Quality Control Program (QA/QC) - The contractor shall implement a QA/QC program for each Specification Division and sub-section. This program will insure that all specification and work requirements are understood and to be met. The General Contractor shall conduct a scope meeting prior to the start of work with the individuals responsible for performing/managing the work and shall include the Architect, Engineer, CM, manufactures representative and testing agency. A written agenda shall be prepared in advance indicating the drawings and specifications that pertain to the requirements for the work and shall include submittal requirements, submittal status, testing requirements, temperature restraints or application process, coordination of others work, protection, safety concerns, etc.
2. A noise and dust control program shall be submitted that will adhere to the Warren County Soil Conservation District requirements for approval prior to start of construction.
3. The SDA/CM assist the contractor with obtaining the New Jersey Department of Community Affairs (DCA) building permits. General Contractor is required to comply with all requirements of the permits. Contractor is responsible for all required inspections during the course of completing its work and will coordinate inspections along with all necessary forms with the CM in accordance with the General Conditions. All other required permits, inspections including but not limited to temporary facilities, road closure, utility tie-ins, along with the associated costs are the responsibility of the contractor. Within ten (10) working days of the issuance of the notice to proceed, the contractor must submit all names, addresses, responsible person, and licenses as applicable of all contractors / subcontractor performing the work for approval by the authority so that permits can be secured from the DCA.
4. The contractor must notify the SDA/CM of any and all off hours or holidays work. A 48 hour minimum written notice must be submitted. General Contractor to have approved supervisory staff on site during the work.
5. The contractor shall submit a daily work force report (manpower/trade count) and daily construction report to the CM by 10:00am. (Daily report from previous day)
6. The contractor shall be responsible for security and maintenance of the main and secondary existing entrance gates and all perimeter fencing. Security Gate and Fencing will be removed at the end of the project as directed by the CM/SDA with the possibility that some or all fencing may be left in place.

## **SECTION 01010 - SUMMARY OF WORK**

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### 1.4 ALLOWANCES

The Contract contains the following Allowance categories and amounts:

**AMOUNT**

- |    |  |           |
|----|--|-----------|
| A. | <u>Constructability Review Allowance</u> | \$200,000 |
|----|--|-----------|
1. The Constructability Review Allowance shall be utilized for Constructability Review activities as indicated in Subsection 1.6 below.
  2. Within five days of the Notice of Award and prior to commencing any Constructability Review Allowance Work, the Contractor shall submit to the Authority a detailed a proposal for all elements of the Constructability Review Allowance Work, describing the proposed costs to perform the Constructability Review Allowance Work, and including descriptions of activities, pricing (including hourly rates and estimates of number of hours to complete the Allowance Work), and any other relevant cost information, which shall be reviewed by the Authority for reasonableness and consistency with the Contractor's response to the Approach to Constructability Review portion of the RFP response. If determined to be reasonable and acceptable, the Authority shall issue the Constructability Notice to Proceed.
  3. The Contractor shall proceed with Constructability Review Allowance Work in accordance with the provisions of Section 01020 – Allowances.
  4. When invoicing for the Constructability Review Allowance Work, the Contractor shall include sufficient backup documentation to provide the Authority with a description of the activities undertaken in performing the Allowance Work and an itemization of the costs to perform the Allowance Work, calculated in the same manner as for Change Order Work as described in Section 01080, sufficient to support the invoice against the Allowance Amount.
  5. When the Contractor determines to engage a subcontractor or sub consultant in order to perform all or part of the Constructability Review Allowance Work, the Contractor may invoice the Authority for the reasonable costs of the subcontractor's or sub consultant's services, and may include a five percent (5%) markup for work performed by such subcontractors or sub consultants. This markup shall compensate the Contractor for all profit and indirect costs associated with the performance of the Constructability Review Allowance Work.

### 1.5 ALTERNATES (Not Applicable)

## **SECTION 01010 - SUMMARY OF WORK**

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### 1.6 CONSTRUCTABILITY REVIEW

A. **General.** The Contractor shall perform a comprehensive Constructability Review of the Contract Documents (the “Documents”) in order to verify the following:

1. Constructability of the Work.
2. Coordination of the Work.
3. Elimination of conflicts in the Work.
4. Completeness of the Work.

The Authority intends to utilize the findings of the Constructability Review to identify and resolve errors, omissions, inconsistencies, conflicts, inaccuracies or other conditions (collectively, “Deficiencies”) in the Documents that would affect the Project’s cost and schedule during construction, thereby eliminating Change Orders caused by such Deficiencies.

Note that this Scope of Work for Constructability Review does **NOT** require that any modifications to the Documents be undertaken by the Contractor or the SDA or its Design Consultant as a result of the Constructability Review.

This Constructability Review shall not relieve the Contractor of any of its responsibilities under the Contract, including Sections 2.4, 2.6 or 4.4.1 with respect to notification of errors, review of plans and specifications, or review of documents.

#### **B. Constructability Review Services**

1. The Contractor shall evaluate the Documents to identify every Deficiency that leads to a negative response to one or more of the following questions:
  - a. Is the Project constructible in accordance with the Documents, completely and satisfactorily, within the Contract Time for the proposed Contract Price?
  - b. Are the Documents and their requirements for the Project fully coordinated so that they are complementary and do not lead to confusion or a lack of clarity about the Work that is required?
  - c. Are the Documents free of conditions where construction in accordance with the Documents will create conflicts among systems, materials or components and consequently impede satisfactory completion of the Project within the Contract Time for the proposed Contract Price?
  - d. Are the Documents complete and inclusive of all information required for construction?
2. Examples of Potential Deficiencies: The following are conditions that might be identified in each of the four categories of Deficiency. This list is not comprehensive or exclusive and in no way limits the Contractor’s responsibilities under the Contract.
  - a. Constructability Deficiencies: Conditions in the Work where:
    - i. The Work cannot be accomplished in an effective sequence or orderly manner.



## **SECTION 01010 - SUMMARY OF WORK**

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- ii. Part of the Work prevents access to or completion of other elements of the Work.
    - iii. The Work of one trade prevents the Work of another trade.
  - b. Coordination Deficiencies: Locations in the Documents where:
    - i. Part of the Work is inadequately supported or connected.
    - ii. The information presented is inconsistent in different locations in the Documents.
    - iii. Needed information referenced in the Documents is not provided in the specified location.
  - c. Conflict Deficiencies: Conditions in the Work where:
    - i. Multiple elements are indicated to occupy the same location in space.
    - ii. An element is indicated as unsupported or incomplete in space.
    - iii. The indicated arrangement of elements cannot be accomplished.
  - d. Completeness Deficiencies: Locations in the Documents where the information presented is:
    - i. Insufficient to direct the Contractor to complete the Work for the Contract Price.
    - ii. Insufficient to determine the quantity or quality of elements of the Work.
    - iii. Inadequate to determine the placement of, attachment of, or relationship between elements of the Work.
- 3. The Authority shall provide the Contractor with five (5) hardcopy sets and one (1) set in native electronic format, of the Project Manual, Plans, Specifications, and Addenda. If the Contractor finds that additional information is required for execution of its Constructability Review, it shall immediately request such information of the Authority, who shall provide such information if available.
- 4. The Authority shall provide the Contractor with access to the proposed site, if requested by the Contractor.

### **C. Constructability Review Deliverables**

The Contractor shall provide to the Authority Constructability Review Deliverables that include, without limitation, the following:

- 1. Three (3) copies of a written Constructability Review Report, listing each Deficiency identified in the Documents, with reference locations (page and paragraph numbers, drawing and detail numbers, grid coordinates, etc.).
- 2. Annotated Contract Documents: One complete set of the Contract Documents, with each Deficiency highlighted in color and its page(s) flagged.
- 3. Initial and Progress Meetings: One initial meeting and two progress meetings of two hours each, at two-week intervals, with the SDA and the Contractor's participants in its Constructability Review, to review the Contractor's progress and preliminary findings.
- 4. Final Review Meeting: One full-day meeting with the SDA to review the findings of the Constructability Review. The Contractor's representatives in attendance shall include all

## SECTION 01010 - SUMMARY OF WORK

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participants in its Constructability Review, including representatives of any Subcontractors who participated materially in its Constructability Review.

*and one of the following:*

5. Statement of Constructability: A certification, on the Contractor's letterhead, stating the following:  
This Contractor, \_\_\_\_\_, has completed a comprehensive Constructability Review dated \_\_\_\_ of the Contract Documents dated \_\_\_\_\_, and has found that the Documents are constructible, coordinated, free of conflicts, and complete. We hereby certify that we shall construct the Project and satisfy all requirements of the Contract within the Contract Time for the Contract Price, and waive our right to Change Orders or Claims resulting from Deficiencies in the Documents that could or should have been discovered during the Constructability Review.

*or*

6. Proposed Change Order: A fully completed Change Order (NJSDA Form 503), executed by the Contractor, accompanied by a certification on the Contractor's letterhead stating the following:  
This Contractor, \_\_\_\_\_, has completed a comprehensive Constructability Review dated \_\_\_\_ of the Contract Documents dated \_\_\_\_\_, and has found that the Documents will be constructible, coordinated, free of conflicts, and complete following correction of the Deficiencies noted in our Constructability Review Report. We hereby propose to execute a Change Order in the amount of \$ \_\_\_\_\_ to remedy the following Deficiencies: [List]. We certify that following correction of the noted Deficiencies in the Documents and execution of this Change Order, we shall construct the Project and satisfy all requirements of the Contract within the Contract Time for the Contract Price, and waive our right to further Change Orders or Claims resulting from Deficiencies in the Documents that could or should have been discovered during the Constructability Review.

*or*

7. Statement of Deficiency: A certification, on the Contractor's letterhead, stating the following:  
This Contractor, \_\_\_\_\_, has completed a comprehensive Constructability Review dated \_\_\_\_ of the Contract Documents dated \_\_\_\_\_, and has found that the following Deficiencies exist which requires architectural or engineering modifications in the Documents in order to remedy such Deficiencies: [List]. As such, the cost of addressing the Deficiencies in the Documents cannot be determined at this time, but may be resolved following architectural or engineering revisions to the plans and specifications.

The Contractor's Deliverables shall include any other documents, attachments or appendices that the Contractor finds necessary for the clarity and completeness of its Constructability Review.

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### **D. Resolution of Deficiencies**

Following receipt of the Constructability Review deliverables from the Contractor, the Authority shall, in its sole discretion, pursue one of the following options:

1. Issue a Notice to Proceed to the Contractor for construction of the Project.
2. Proposed Change Order:
  - a. Review, and either accept or reject, the Contractor's Proposed Change Order, accompanied by the certification in C.5 above, in accordance with the Contract.
  - b. Following execution of the Proposed Change Order, issue a Notice to Proceed to the Contractor for construction of the Project.
3. Correction of Deficiencies:
  - a. Proceed with modifications to the Documents to correct Deficiencies noted in the Constructability Review Report.
  - b. Issue a Change Order Request (NJSDA Form 500) with revised Documents to the Contractor.
  - c. Review and either accept or reject, the Contractor's Proposed Change Order accompanied by the certification in C.5 above, in accordance with the Contract.
  - d. Following execution of the Proposed Change Order, issue a Notice to Proceed to the Contractor for construction of the Project.

*or*

4. Termination of Award: Issue a Notice of Termination for Convenience to the Contractor.

The Authority may issue a Notice of Termination for Convenience to the Contractor at any time. Irrespective of the resolution of any Deficiency, the Constructability Review in no way relieves the Contractor of its responsibility for the performance of the Work under the Contract, with the exception of Termination of the Contract.

### **E. Additional Information Regarding Constructability Review**

While the Authority intends that the Constructability Review be used as an opportunity to address any deficiencies in the Contract Documents, the Authority acknowledges that certain circumstances may arise, or issues may be discovered only after the Constructability Review has been completed. In such an instance, the Contractor's responsibility for the costs of changes subsequent to the Constructability Review will be determined based on whether the Contractor could have or should have identified the issue in the Constructability Review. While a final determination of responsibility would ultimately be dependent upon the particulars of any specific change, the following are provided as examples of post-Constructability Review changes for which the Contractor would likely not be held responsible:

1. Design Errors – Changes in the Work which become necessary due to an error in design which is not part of the required Constructability Review scope. Examples include:
  - A change in the roof or floor structure made necessary due to a structural design calculation error on the part of the Design Consultant
  - A change to an HVAC unit made necessary due to a load calculation error on the part of the Design Consultant

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- Other changes to the Work made necessary due to design calculation errors on the part of the Design Consultant
2. Code Compliance Issues – Changes in the Work which become necessary due to code compliance deficiencies in the Construction Documents. Examples include:
- The addition of an exit sign or other code compliance device not indicated in the Construction Documents but required by a DCA inspection
  - The addition of rated wall assembly due to a code compliance error on the part of the Design Consultant
  - Changes to the work made necessary for accessibility compliance
  - Other changes to the Work made necessary by DCA required redesign for code compliance
- C. Unforeseeable Conditions – Changes in the Work made necessary due to existing conditions which could not have been foreseen by the Contractor. Examples include:
- Changes made necessary due to existing subsurface structures or utilities which were not indicated in the Construction Documents
  - The addition of a booster pump because flow rates from existing water service are not sufficient to meet project requirements

While it is desirable that design deficiencies such as these might be identified during the Constructability Review based on the Contractor's experience, these are examples of items which are not a part of the required Constructability Review scope and therefore, likely not changes for which the Contractor would be held responsible.

Moreover, the SDA notes that the Constructability Review is an extension of the Contractor's existing responsibilities to review the plans and specifications and the Project Site, and to include in the Work any omitted details reasonably inferable to carry out the intent of the Contract Documents without additional charge, as well as promptly notify the Authority of any obvious, patent and readily observable errors, omissions inconsistencies or other defects in the Contract Documents. These obligations have been required by the SDA's construction General Conditions for several years. Specifically, notwithstanding the specific and separately compensated activities of the Constructability Review phase, Contractors on SDA projects are required to:

- promptly notify the Authority of all obvious, patent and readily observable errors, omissions, inconsistencies or other defects (including inaccuracies) which the Contractor may, or reasonably should, discover in the Contract Documents (General Conditions, Section 2.4);
- refrain from making a claim premised upon any obvious, patent and readily observable error, omission, inconsistency, conflict or other deficiency in the Contract Documents, unless the Contractor has first provided appropriate and timely notice to the Authority of such error, omission, inconsistency, conflict or other deficiency (General Conditions, Section 2.4);
- include in the Contract details of work omitted from the Plans and Specifications which are reasonably inferable to carry out the intent of the Contract Documents, or which are customarily included, as if such details were fully and correctly set forth

## SECTION 01010 - SUMMARY OF WORK

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and described in the Plans and Specifications, without entitlement to a Change Order (General Conditions, Section 2.6.1);

- acknowledge that, prior to submitting a bid on the Project, the Contractor carefully studied and reviewed all Documents relevant to the Project that have been prepared and furnished by the Authority, including but not limited to, the Contract Documents, any geotechnical reports or surveys of the Site, and, if applicable, the Remedial Action Work Plan (General Conditions, Section 4.4); and
- acknowledge that, prior to submitting a bid, in accordance with prudent and generally accepted construction practices, the Contractor inspected and examined the Project Site and surrounding locations and undertook other appropriate activities sufficient to familiarize itself with the readily observable conditions at the Site (General Conditions, Section 4.4.2).

In light of these existing responsibilities, the Constructability Review represents a compensated extension of the Contractor's responsibilities to review the Contract Documents and advise the Authority of any defects, conflicts or inconsistencies therein.

### 1.7 WORK SEQUENCE

- A. Construction of the Project will be done in a **single** phase, following completion of the Constructability Review.
- B. The following represents selected milestones for the Work only:
  1. Construction NTP (Notice to Proceed) initiates the project schedule.
  2. Product Listing Schedule to be submitted **within 30 calendar days** after Construction NTP.
  3. Site Logistics Plan to be signed-off by the General Contractor and the all prime subcontractors; Structural Steel, HVAC, Plumbing, and Electrical and submitted **no later than 30 calendar days** after Construction NTP.
  4. A CPM Schedule to be submitted **within thirty (30) calendar days** after Construction NTP, utilizing the Precedence Diagramming Method (PDM).
  5. Shop Drawing Submittal Log to be submitted **within 45 calendar days** after Construction NTP.
  6. Coordination Drawings to be signed-off by the General Contractor and all prime subcontractors (Structural Steel, HVAC, Plumbing, and Electrical Subcontractors) and submitted..
  7. Project to achieve Substantial Completion – TCO (temporary Certificate of Occupancy) **within 913 calendar days** after Construction NTP.
  8. Project to achieve Final Completion - CO (Certificate of Occupancy) **within 60 calendar days** after Substantial Completion .

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### 1.9 PHOTOGRAPHS

- A. The Contractor shall take a minimum of 24 digital photographs of the overall project as necessary to record existing conditions within 48 hours after issuance of a Notice to Proceed.
- B. The Contractor shall take a minimum of 12 digital color photographs on the 15th of each month. These photographs shall be submitted with the monthly pay applications.
- C. The Contractor shall take a minimum of 24 digital photographs upon Substantial Completion of his Contract.
- D. The Project Management Firm/Construction Manager shall be furnished with 2 prints and electronic file taken from each of the above required photographs.

### 1.10 TEMPORARY FACILITIES:

- A. The Contractor is responsible for all labor, materials and costs to get all temporary services and utilities to the project site, and to trailers used by the Contractor, CM and the Authority until substantial completion of the project. Contractor is responsible for all monthly trailer/services/utility charges and maintenance of same.

### 1.10 TEMPORARY FACILITIES FOR USE BY THE AUTHORITY

- A. The following shall be provided by the contractor for use by the Authority and Project Management Firm/Construction Manager. For equipment or items that are designated as provided by CM, the Contractor shall make provisions for the installation of such items in the temporary trailers, including provision of necessary space, power sources and phone/data connections.
  - 1. The General Contractor is responsible for identifying, documenting, applying, and paying for all permits for all temporary trailers and containers, including those used by all subcontractors, vendors and suppliers directly associated with the project whether trailers and containers are on the construction site or in adjacent areas.
  - 2. The temporary office facilities (trailer) to be provided by the General Contractor shall satisfy the following requirements:
    - a. Minimum size of 1,440' sq. ft. (24' x 60') providing for a minimum of 2 (two) offices, one at each end, partitioned off from the common area.
    - b. Security bars on all exterior doors and padlocking capability.
    - c. Operable windows with adjustable blinds and insect screens.
    - d. All windows shall be covered with heavy gauge steel grating mesh.
    - e. Alarm security system with key pad entry system including monitoring service. (Separate phone line may be required).
    - f. The floor is to be VCT or a covering acceptable to the SDA/CM.
    - g. Skirting around the base, and anchorage to ground, stairs, platforms and railings at exterior doors as per OSHA standards.
    - h. Equip with a private washroom/toilet and water service.
    - i. Heat tracing of piping and services for usage as required.

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- j. A temporary large ADA compliant self-contained toilet with sanitizer and washing facility may be used until temporary piping services are completed. (maximum temporary 60 days after NTP.)
- k. Provide switch controlled fluorescent lift fixtures capable of maintaining an average illumination of 20 foot-candles at desk height or as required by OSHA, and 110-120 volt 20 amp duplex outlets at a minimum of one per office area on walls in each room and a minimum of (6) six outlets in the common area.
- l. Provide necessary connections for copiers/printers/ faxes and data.

Item	Provided by CM/Contractor	Formula	Quality Level
Laptop	Contractor	3 (three)	Minimum requirements: 17" wide screen; 6G RAM; 2.3GHz processor speed; Multi format DVD/CD RW capability; 3 USB Ports; Microsoft Windows 7 platform; 64 Bit Operating System; Built-in Wireless LAN; Microsoft Office Suite 2010; Adobe Acrobat Standard 9.0; Autodesk Design Review/ TruView; McAfee antivirus; Laptop locks;
Digital Camera	Contractor	1 (one)	Minimum of 12 MP; 10 x Zoom; HD camera/movie recorder;
Printer/Copier/fax/scanner	Contractor	1 (one)	Color, Letter , legal & 11x17; 33 cpm min.; maintenance for 3 years; Wi-fi enabled;
Telephones	Contractor	5 (five)	2 line speaker phone
Plan Rack/Holder (fixed)	Contractor Built In	2 per trailer	Built In
Trailer Size	Contractor	24 x 60'	Dual lockable sturdy window protection
Trailer Heat & Air Conditioning	Contractor	Hot and cold thermostat controlled	Heat /Air conditioning to maintain 68 to 74 degrees
Trailer Flooring	Contractor	All Areas	Vinyl Composition Tile
<b>Trailer Rooms</b>			
Office	Contractor	2 per trailer	Built In
Small Toilet	Contractor	1 per trailer	Built In
Conference	Contractor	1 per trailer	Built In
Storage	Contractor	1 per trailer	Built In
File Cabinet	Contractor	8 (four)	Lateral Metal/Steel 6 (six) 36"W x 20"D x 60"H (4 -drawer); 2 (two) 36"W x 20"D x 28"H (2-drawer);
Conference Table	Contractor	4 (four)	Folding metal
Office Desk	Contractor	4 (four)	Steel
Plan Table/with chairs	Contractor	2 (two)	Built In
Chair (for desks)	Contractor	4 (four)	Cushioned, fabric & vinyl, on rollers



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Chair (for tables)	Contractor	12 (twelve)	Folding or Stackable Steel
Paper	Contractor	Required	10 cases of letter size; 5 cases of Legal size; 1 case of 11x17; to be delivered beginning of project; & refill as needed;
White board, markers & erasers	Contractor	Required	
Paper towels	Contractor	Required	As needed
Water Cooler & Service	Contractor	Required	
Door mat, broom& pan for exterior use	Contractor	Required	
First Aid Kit & Service	Contractor	1 per trailer	Zee Medical or equivalent
Telephone Service	Contractor	Required	
Toilet Service	Contractor	Required	Once a week
Weekly Trailer Cleaning Service	Contractor	Required	Once a week
Trailer toilet supplies	Contractor	Required	As Needed
Temp. Power Line – Trailer	Contractor	Required	As Needed
Internet Service	Contractor	2 (two)	Wifi Hotspot connects to multiple devices, with minimum of 3 connections per hotspot
Power Service Line	Contractor	Required	As Needed
Telephone Line to Trailer	Contractor	2 (two)	
Water/Sewer Svc.	Contractor	Required	As Needed

**PART 2 – PRODUCTS** (Not Applicable)

**PART 3 - EXECUTION** (Not Applicable)

**END OF SECTION 01010**

## Attachment 2.3

### Changes to the Drawings

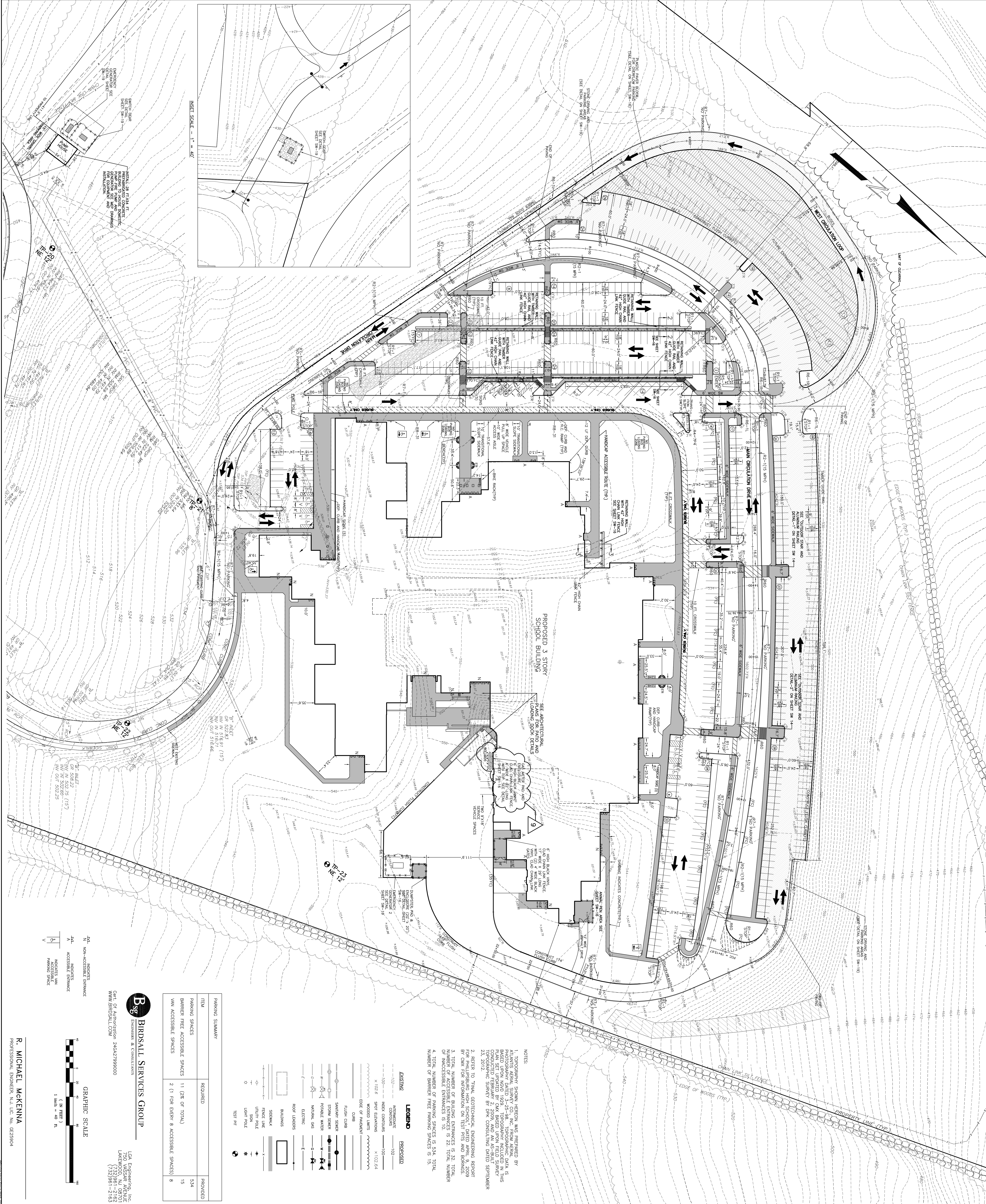
1. Site Drawings
2. Architectural Drawings
3. Built-In Equipment Drawings
4. Structural Drawings

## Attachment 2.3

# Changes to the Drawings

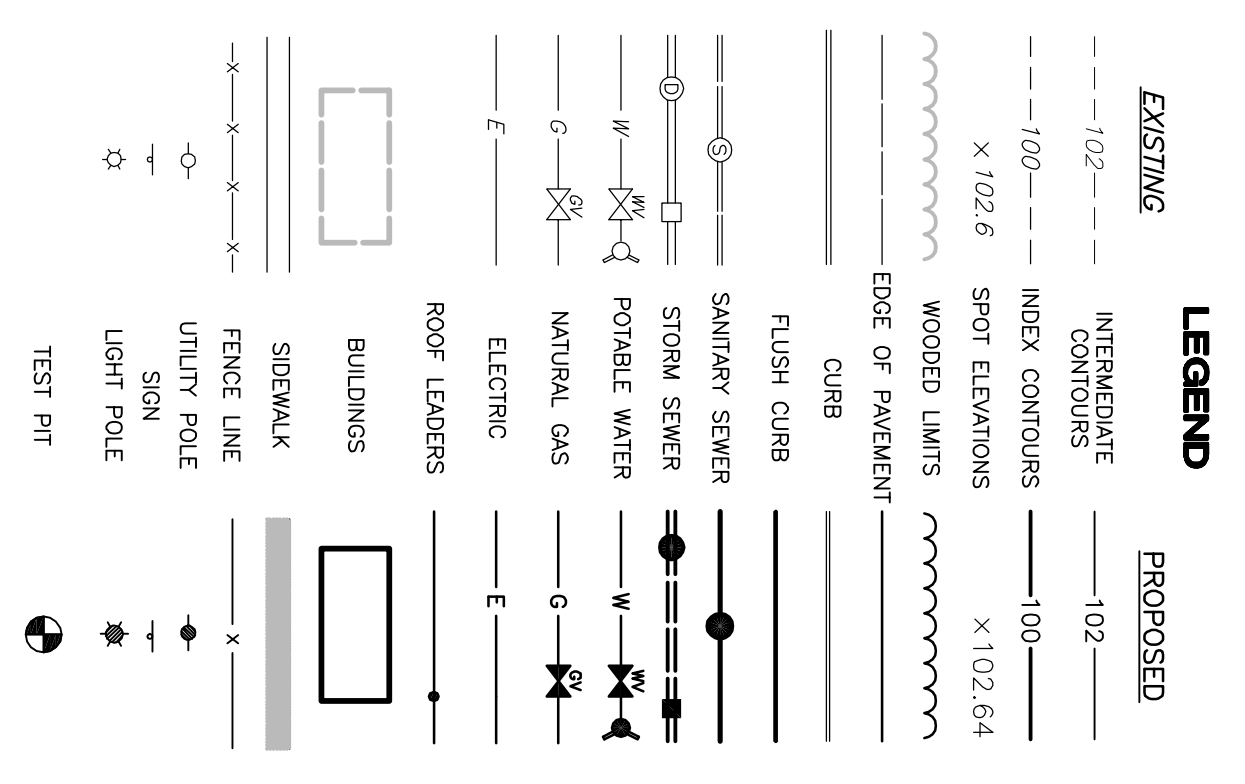
## Site Drawings





INSET SCALE - 1" = 40'

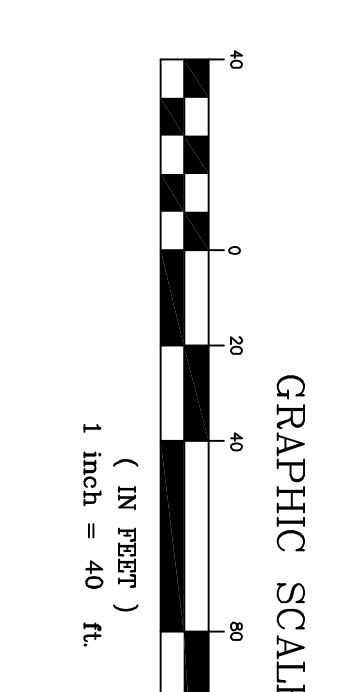
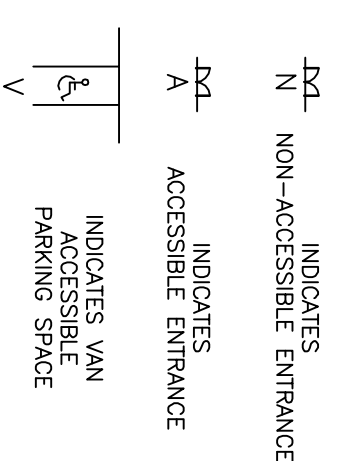
ITEM	REQUIRED	PROVIDED
PARKING SPACES	11 (2% OF TOTAL)	534
BARRIER FREE ACCESSIBLE SPACES	2 (1 FOR EVERY 8 ACCESSIBLE SPACES)	15
VAN ACCESSIBLE SPACES		8



- LEGEND**
- EXISTING**
- STRUCTURES
  - CONTOURS
  - WOOD LAMBS
  - EDGE OF PROXIMITY
  - ROADS
  - FLUSH CURB
  - SWANNEY CURB
  - STORM SEWER
  - NATURAL GAS
  - ELECTRIC
  - ROOF LOADS
  - BUILDINGS
  - FENCE LINE
  - UTILITY POLE
  - LOW WALL
  - TEST PIT
- PROPOSED**
- STRUCTURES
  - CONTOURS
  - WOOD LAMBS
  - EDGE OF PROXIMITY
  - ROADS
  - FLUSH CURB
  - SWANNEY CURB
  - STORM SEWER
  - NATURAL GAS
  - ELECTRIC
  - ROOF LOADS
  - BUILDINGS
  - FENCE LINE
  - UTILITY POLE
  - LOW WALL
  - TEST PIT

**NOTES**

1. TOPOGRAPHY SHOWN HEREON WAS PREPARED BY ATLANTIC AERIAL SURVEY CO., INC. FROM AERIAL PHOTOGRAPHY DATED 3-25-98. GEOSPATIAL DATA IS THIS PLAN SET UPON THE DATA BASED UPON FIELD SURVEY TOPOGRAPHIC SURVEY BY DM CONSULTING DATED SEPTEMBER 23, 2012.
2. REFER TO FINAL GEOTECHNICAL ENGINEERING REPORT FOR PHILLIPSBURG HIGH SCHOOL, DATED APRIL 9, 2009 BY DM FOR INFORMATION ON TEST PITS AND BORINGS.
3. TOTAL NUMBER OF BUILDING ENTRANCES IS 32. TOTAL NUMBER OF ACCESSIBLE ENTRANCES IS 10.
4. TOTAL NUMBER OF PARKING SPACES IS 534. TOTAL NUMBER OF BARRIER FREE PARKING SPACES IS 15.



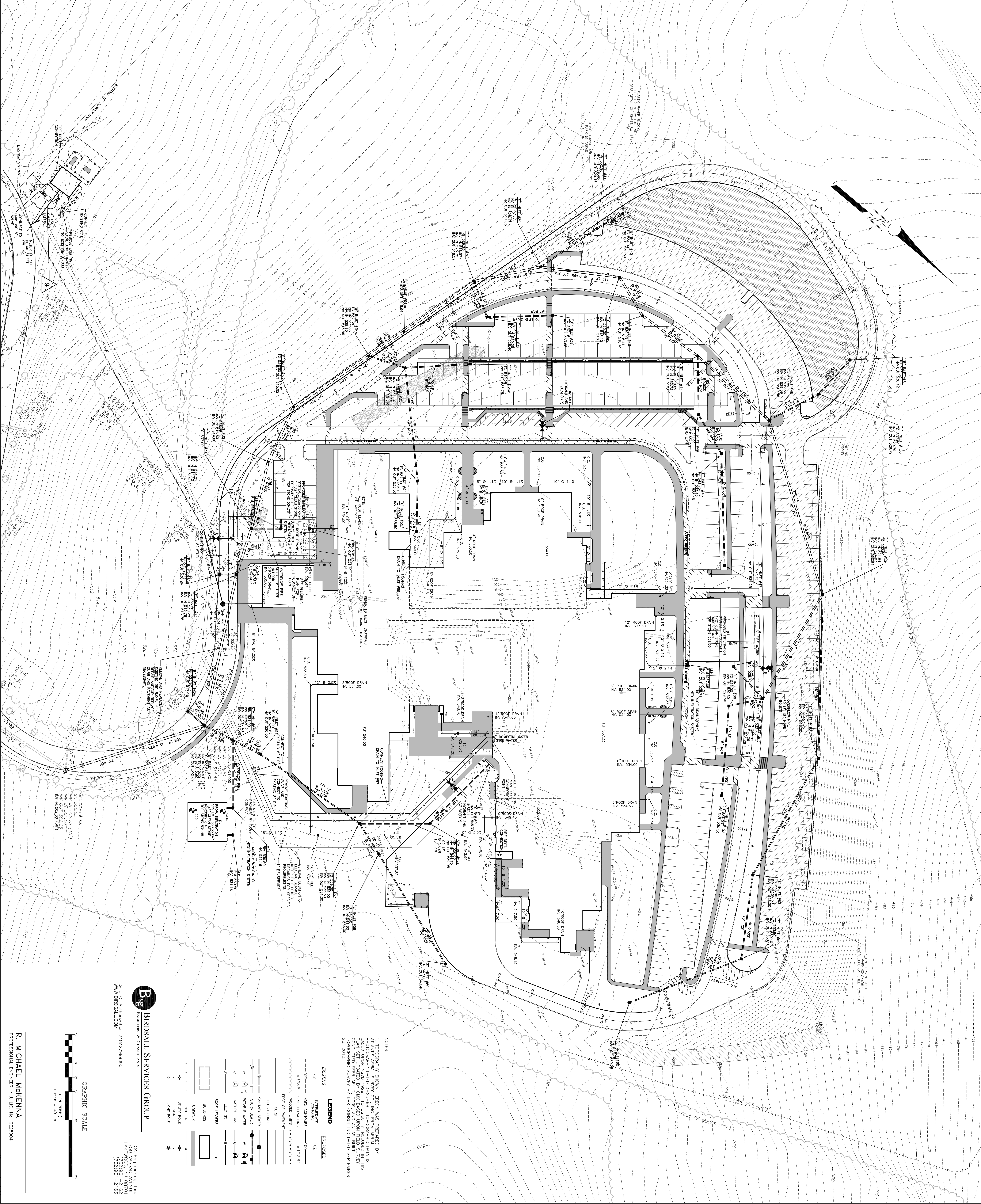
**BIRDSALL SERVICES GROUP**  
 ENGINEERS & CONSULTANTS  
 Cent. of America Blvd. 246427999000  
 WWW.BIRDSALL.COM

LSA Engineering, Inc.  
 750 VASSAR AVENUE  
 LAURELWOOD, NJ 08701  
 (732)981-2163

**R. MICHAEL MCKENNA**  
 PROFESSIONAL ENGINEER, N.J. LIC. NO. 0E22904

<p>STATE OF NEW JERSEY          NJ SCHOOL DEVELOPMENT AUTHORITY</p>	<p>PROJECT # 2008.569.00</p>	<p>Design Ideas Group          Architecture • Planning • I/E</p>	<p>ARCHITECT</p>
			<p>DATE</p>
<p>100% NJDCA CONSTRUCTION DOCUMENTS SUBMISSION FOR:  <b>NEW PHILLIPSBURG HIGH SCHOOL</b>          DOE# 4100-N01-04-1000          SDA# NT-0003-C02</p>	<p>TOWN OF PHILLIPSBURG          UPPER BELVIDERE ROAD LOT 44 / BLOCK 2          PHILLIPSBURG, NEW JERSEY 08865</p>	<p>DRAWING NO.:  <b>SW-2</b></p>	<p>DATE</p>
<p>APPENDIX #2 (REV. #0) 03-01-13          APPENDIX #1 11-21-12          NSDCA REVISIONS 09-12-12          NSDCA COMMENTS 03-04-11          NSDCA COMMENTS 08-12-10          NSDCA COMMENTS 05-17-10          NSDCA COMMENTS 02-12-10          DATE: OCTOBER 13, 2009          SCALE: 1" = 40'</p>	<p>SUBMISSION DATE</p>	<p>DRAWING TITLE:          SITE PLAN</p>	<p>DATE</p>

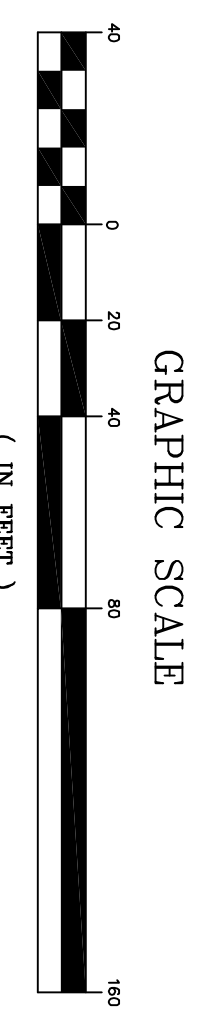




NOTES:  
 1. TOPOGRAPHY SHOWN HEREON WAS PREPARED BY ATLANTIS AERIAL SURVEY CO., INC. FROM AERIAL PHOTOGRAPHY DATED 10/2009. THE PHOTOGRAPHY IS BASED UPON NAD83. TOPOGRAPHY INCLUDED IN THIS PLAN SET UPDATED BY CIVIL BASED UPON FIELD SURVEY TOPOGRAHIC SURVEY BY PER CONSULTING DATED SEPTEMBER 23, 2012.

LEGEND	
EXISTING	PROPOSED
102	102
102	102
X 1/2" 6"	X 1/2" 6"
WOODEN LIMBS	WOODEN LIMBS
EDGE OF PAVEMENT	EDGE OF PAVEMENT
FLASH CURB	FLASH CURB
SHOWER SINK	SHOWER SINK
STOVE SINK	STOVE SINK
POTABLE WATER	POTABLE WATER
NATURAL GAS	NATURAL GAS
ELECTRIC	ELECTRIC
ROOF LEAKERS	ROOF LEAKERS
BUILDINGS	BUILDINGS
FINISH LINE	FINISH LINE
UTILITY POLE	UTILITY POLE
LIGHT POLE	LIGHT POLE

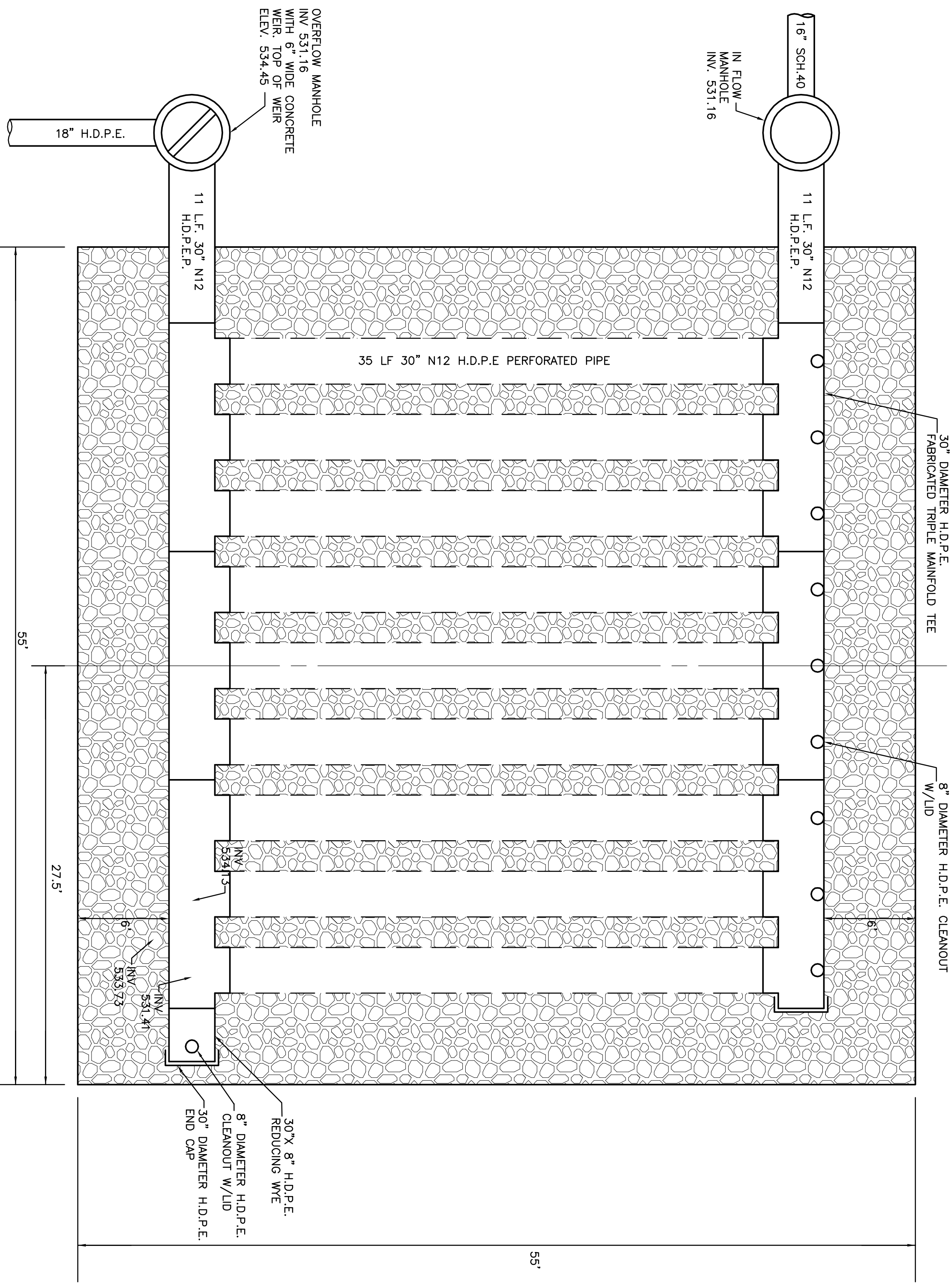
**B** BRUNSALL SERVICES GROUP  
 ENGINEERS & CONSULTANTS  
 240 S. 27TH ST. SUITE 200  
 PHILLIPSBURG, NJ 08865  
 WWW.BRUNSALL.COM



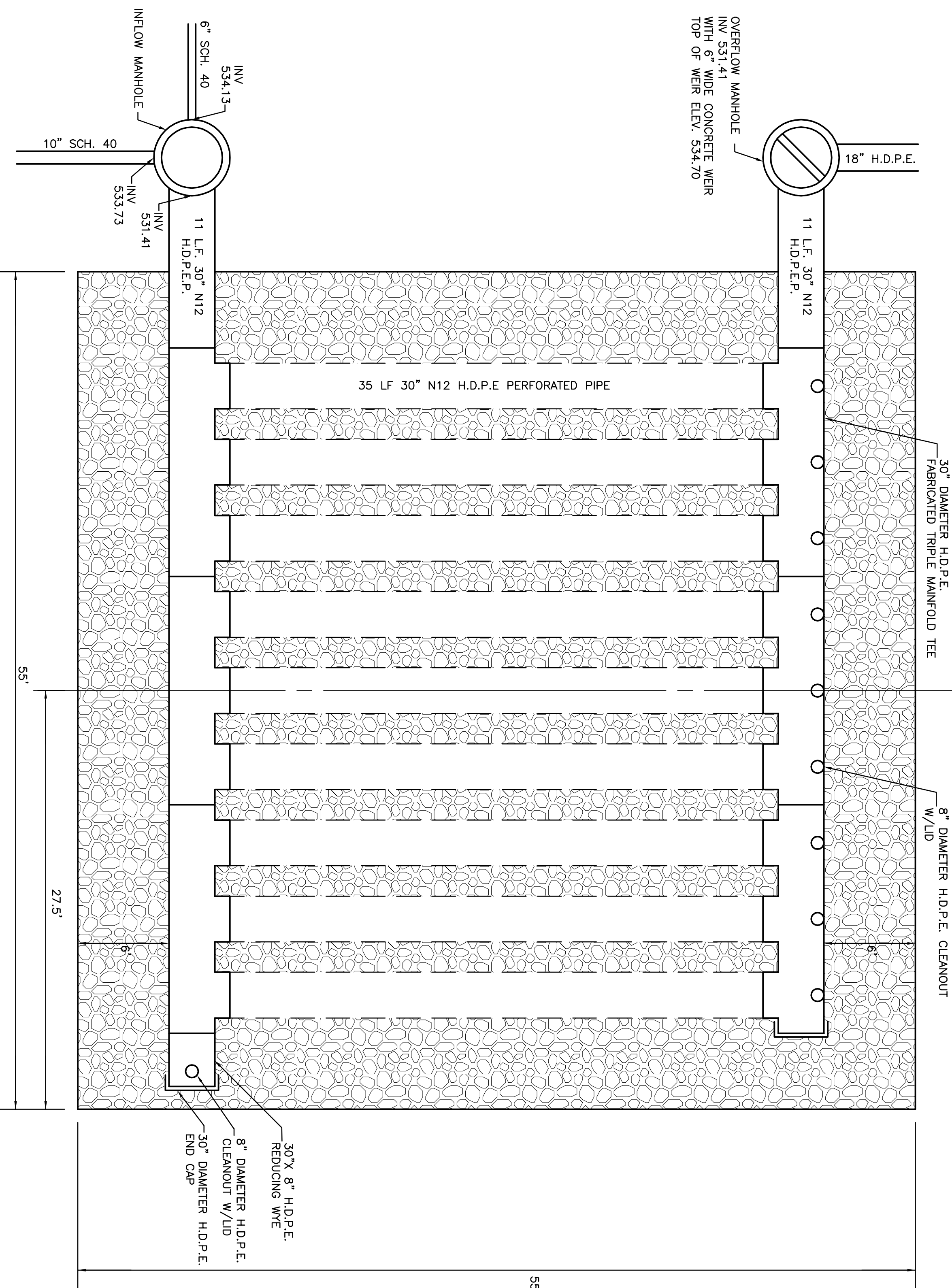
R. MICHAEL MCKENNA  
 PROFESSIONAL ENGINEER, N.J. LIC. NO. CE25894

<p><b>SDA</b>                  NJ SCHOOL DEVELOPMENT AUTHORITY                  STATE OF NEW JERSEY</p>	<p><b>DesignIdeasGroup</b>                  ARCHITECTURE + PLANNING LLC</p>	<p>PROJECT # 2009.936.00</p>	<p>100% NJDCA CONSTRUCTION DOCUMENTS SUBMISSION                  FOR:  <b>NEW PHILLIPSBURG HIGH SCHOOL</b>                  DOE# 4100-N01-04-1000                  SDA# NT-0003-C02</p> <p><b>TOWN OF PHILLIPSBURG</b>                  UPPER BELVIDERE ROAD LOT 44 / BLOCK 2                  PHILLIPSBURG, NEW JERSEY 08865</p>																				
<p>DRAWING NO. <b>SW-5</b></p>	<p>DRAWING TITLE: <b>UTILITY PLAN</b></p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>SUBMISSION</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td>APPENDIX #2 (RE-BID)</td> <td>03-01-13</td> </tr> <tr> <td>APPENDIX #1</td> <td>11-21-12</td> </tr> <tr> <td>NJSDA REVISIONS</td> <td>09-12-12</td> </tr> <tr> <td>NJSDA COMMENTS</td> <td>03-04-11</td> </tr> <tr> <td>NJSDA COMMENTS</td> <td>08-12-10</td> </tr> <tr> <td>NJSDA COMMENTS</td> <td>05-17-10</td> </tr> <tr> <td>NJSDA COMMENTS</td> <td>02-12-10</td> </tr> <tr> <td>DATE:</td> <td>OCTOBER 13, 2009</td> </tr> <tr> <td>SCALE:</td> <td>1"=40'</td> </tr> </tbody> </table>	SUBMISSION	DATE	APPENDIX #2 (RE-BID)	03-01-13	APPENDIX #1	11-21-12	NJSDA REVISIONS	09-12-12	NJSDA COMMENTS	03-04-11	NJSDA COMMENTS	08-12-10	NJSDA COMMENTS	05-17-10	NJSDA COMMENTS	02-12-10	DATE:	OCTOBER 13, 2009	SCALE:	1"=40'	<p>CONTRACT NO. 00218                  PROJECT NO. 00218                  DRAWING NO. SW-5                  SHEET NO. 00218-1                  DATE: 10/13/09</p>
SUBMISSION	DATE																						
APPENDIX #2 (RE-BID)	03-01-13																						
APPENDIX #1	11-21-12																						
NJSDA REVISIONS	09-12-12																						
NJSDA COMMENTS	03-04-11																						
NJSDA COMMENTS	08-12-10																						
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NJSDA COMMENTS	02-12-10																						
DATE:	OCTOBER 13, 2009																						
SCALE:	1"=40'																						

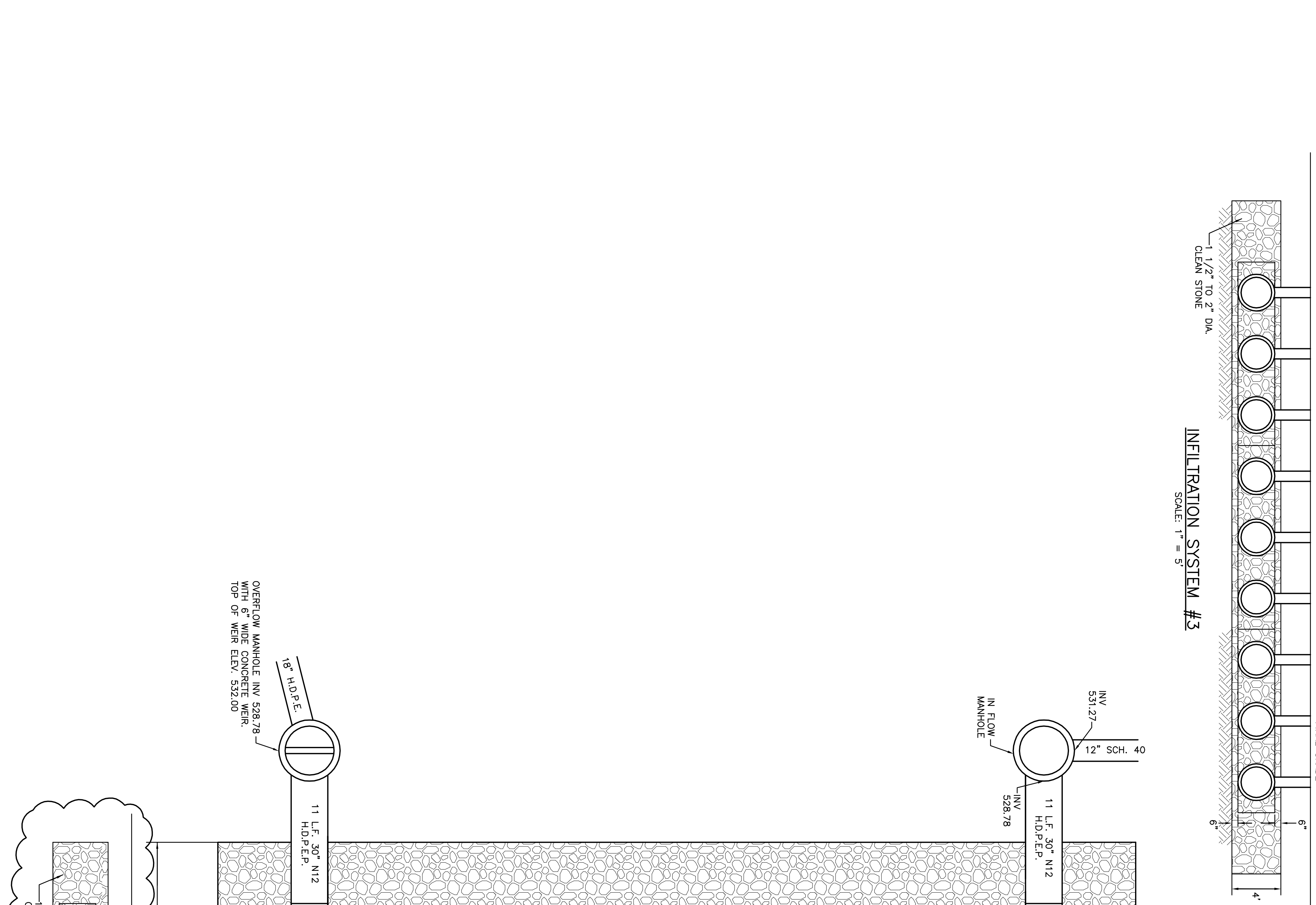




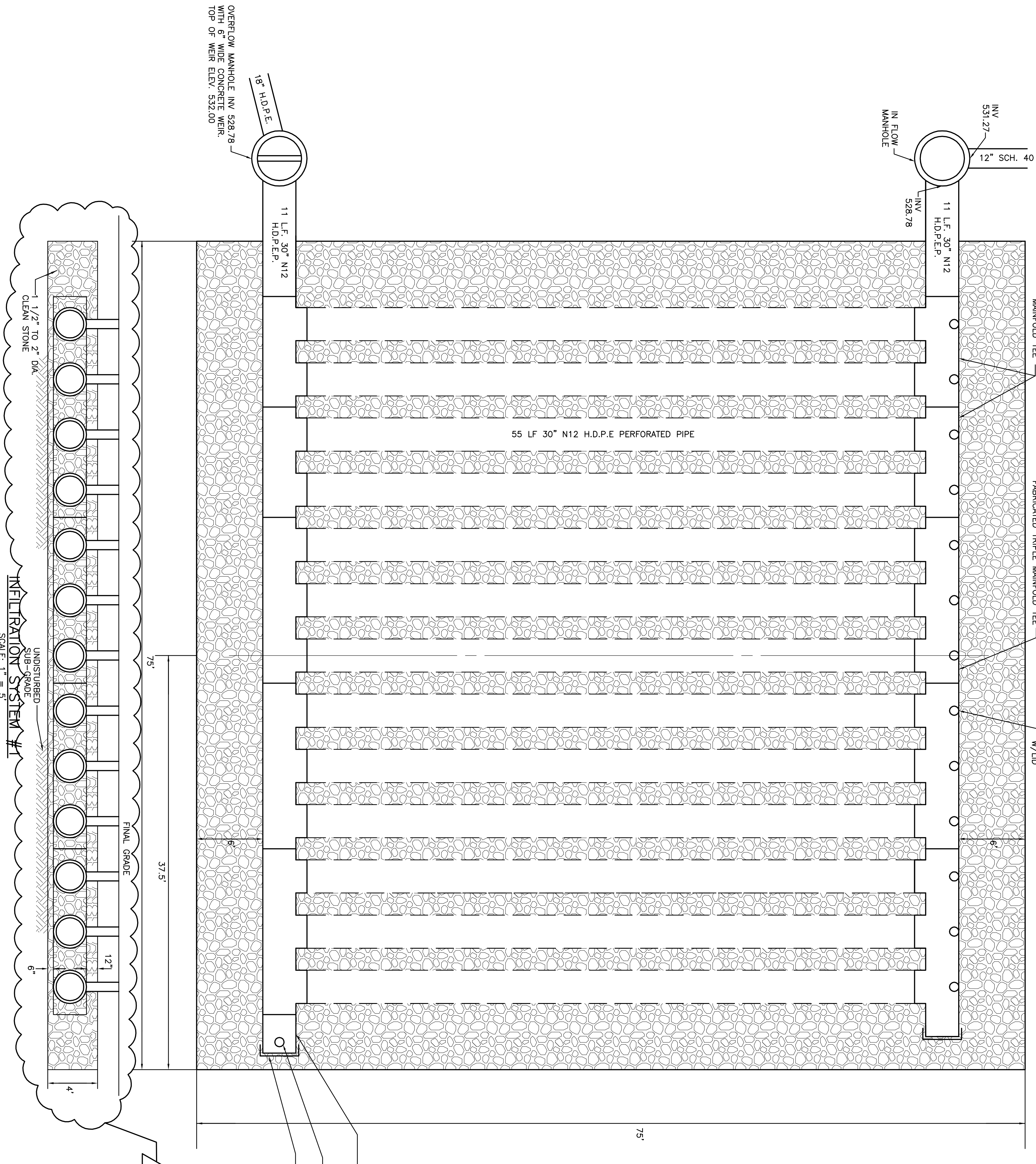
INfiltration SYSTEM #1  
SCALE: 1" = 5'



INfiltration SYSTEM #2  
SCALE: 1" = 5'



INfiltration SYSTEM #3  
SCALE: 1" = 5'



INfiltration SYSTEM #4  
SCALE: 1" = 5'

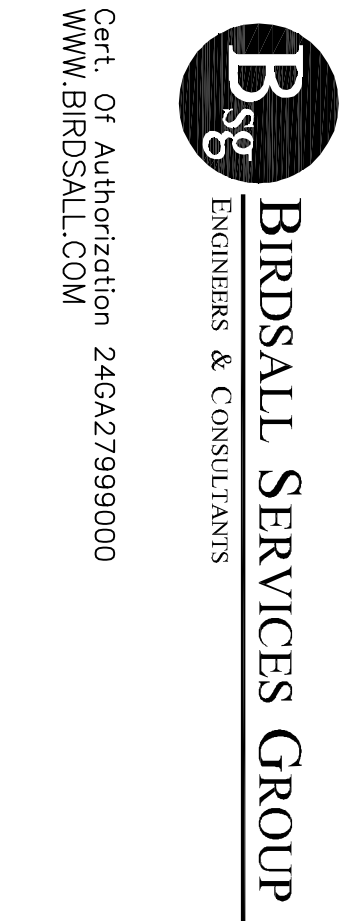
NOTE:  
SEE SHEET SW-5 FOR APPROPRIATE SYSTEM ORIENTATION.

OVERFLOW MANHOLE FOR 48" DIA. WITH 6" WIDE CONCRETE WEIR TOP OF WEIR ELEV. 532.00

OVERFLOW MANHOLE INV. 534.41 WITH 6" WIDE CONCRETE WEIR TOP OF WEIR ELEV. 534.10

30" X 8" H.D.P.E. REDUCING W/E  
8" DIAMETER H.D.P.E. CLEANOUT W/L/D  
30" DIAMETER H.D.P.E. END CAP

30" X 8" H.D.P.E. REDUCING W/E  
8" DIAMETER H.D.P.E. CLEANOUT W/L/D  
30" DIAMETER H.D.P.E. END CAP



**BRIDSAULT SERVICES GROUP**  
ENGINEERS & CONSULTANTS  
Cmt. of Administration  
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WWW.BRISALL.COM

LGA Engineering, Inc.  
750 MASSACHUSETTS AVENUE  
LARCHMONT, NY 10538  
(914) 232-9851 - 2162  
(914) 232-9851 - 2163

**R. MICHAEL MCKENNA**  
PROFESSIONAL ENGINEER, N.J. LIC. NO. 0E229804

<p>100% NJDCA CONSTRUCTION DOCUMENTS SUBMISSION FOR: <b>NEW PHILLIPSBURG HIGH SCHOOL</b> DOE# 4100-N01-04-1000 SDA# NT-0003-C02</p> <p><b>TOWN OF PHILLIPSBURG</b> UPPER BELVIDERE ROAD LOT 44 / BLOCK 2 PHILLIPSBURG, NEW JERSEY 08865</p>		<p>ARCHITECT <b>DesignIdeasGroup</b> ARCHITECTURE + PLANNING, LLC 1000 BELVIDERE ROAD, SUITE 200 PHILLIPSBURG, NJ 08865 (609) 232-9851 WWW.DESIGNIDEASGROUP.COM</p> <p>PROJECT # 2008-356600</p> <p>DESIGNED BY: [Redacted] DRAWN BY: [Redacted]</p>	<p>N.J. Schools Development Authority <b>STATE OF NEW JERSEY</b> SCHOOL DISTRICT OF PHILLIPSBURG</p>
<p>SUBMISSION DATE</p> <p>ADDENDUM #2 (REVISED) 03-01-13</p> <p>NJDCA COMMENTS 02-04-11</p> <p>NJDCA COMMENTS 08-12-10</p> <p>NJDCA COMMENTS 05-17-10</p> <p>NJDCA COMMENTS 02-12-10</p> <p>DATE: OCTOBER 13, 2009</p> <p>SCALE: AS SHOWN</p> <p>DRAWING TITLE: <b>CONSTRUCTION DETAILS</b></p> <p>DRAWING NO: <b>SW-17</b></p>	<p>DRAWN BY:</p>		

## Attachment 2.3

### Changes to the Drawings

#### Architectural Drawings





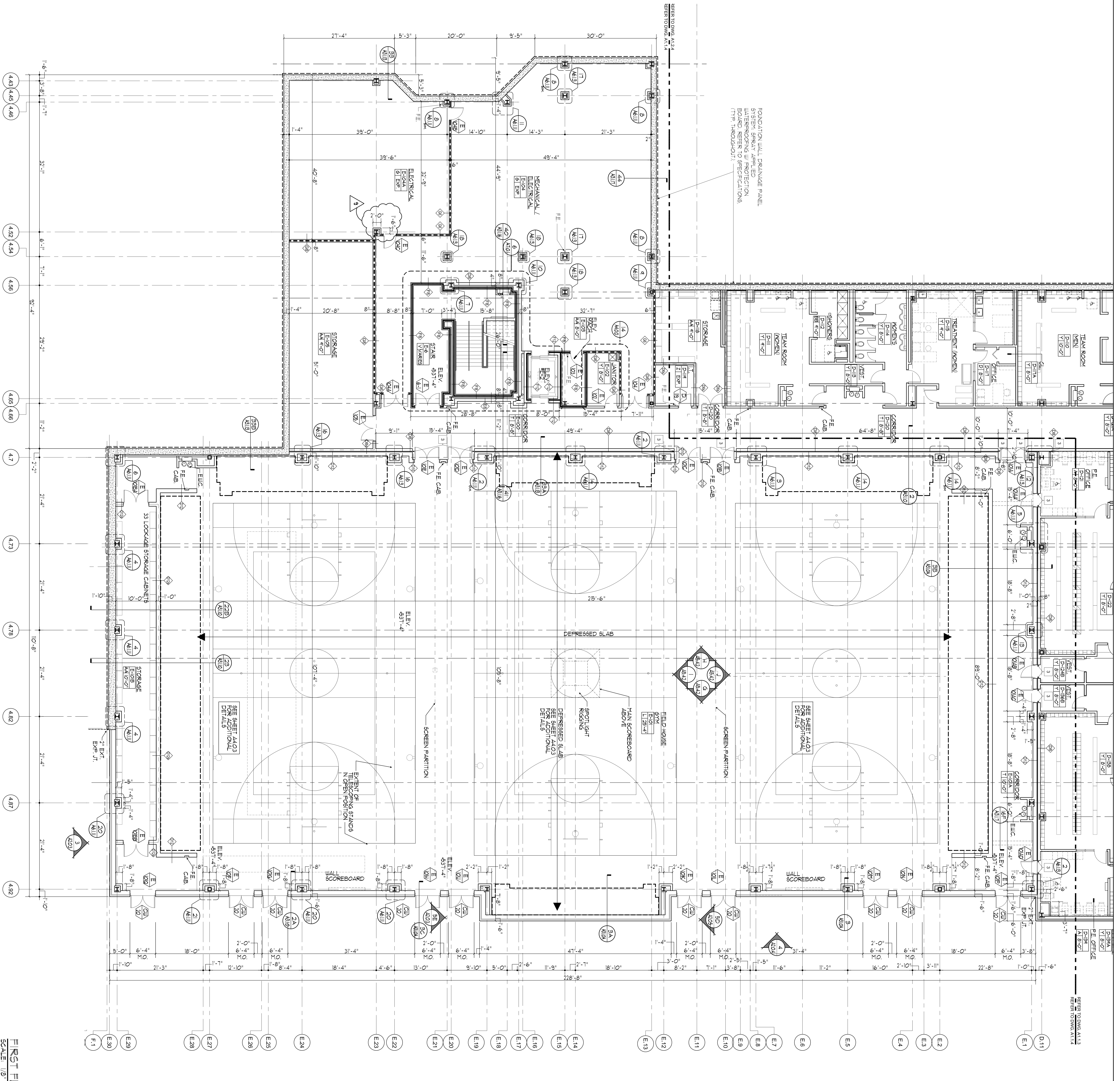












SYMBOLS		DESCRIPTION
1	1"	1" WALL TO WALL JOINT
2	2"	2" WALL TO WALL JOINT
3	3"	3" WALL TO WALL JOINT
4	4"	4" WALL TO WALL JOINT
5	5"	5" WALL TO WALL JOINT
6	6"	6" WALL TO WALL JOINT
7	7"	7" WALL TO WALL JOINT
8	8"	8" WALL TO WALL JOINT
9	9"	9" WALL TO WALL JOINT
10	10"	10" WALL TO WALL JOINT
11	11"	11" WALL TO WALL JOINT
12	12"	12" WALL TO WALL JOINT
13	13"	13" WALL TO WALL JOINT
14	14"	14" WALL TO WALL JOINT
15	15"	15" WALL TO WALL JOINT
16	16"	16" WALL TO WALL JOINT
17	17"	17" WALL TO WALL JOINT
18	18"	18" WALL TO WALL JOINT
19	19"	19" WALL TO WALL JOINT
20	20"	20" WALL TO WALL JOINT
21	21"	21" WALL TO WALL JOINT
22	22"	22" WALL TO WALL JOINT
23	23"	23" WALL TO WALL JOINT
24	24"	24" WALL TO WALL JOINT
25	25"	25" WALL TO WALL JOINT
26	26"	26" WALL TO WALL JOINT
27	27"	27" WALL TO WALL JOINT
28	28"	28" WALL TO WALL JOINT
29	29"	29" WALL TO WALL JOINT
30	30"	30" WALL TO WALL JOINT
31	31"	31" WALL TO WALL JOINT
32	32"	32" WALL TO WALL JOINT
33	33"	33" WALL TO WALL JOINT
34	34"	34" WALL TO WALL JOINT

REFERENCE NOTES	
1	1" WALL TO WALL JOINT
2	2" WALL TO WALL JOINT
3	3" WALL TO WALL JOINT
4	4" WALL TO WALL JOINT
5	5" WALL TO WALL JOINT
6	6" WALL TO WALL JOINT
7	7" WALL TO WALL JOINT
8	8" WALL TO WALL JOINT
9	9" WALL TO WALL JOINT
10	10" WALL TO WALL JOINT
11	11" WALL TO WALL JOINT
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29	29" WALL TO WALL JOINT
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32	32" WALL TO WALL JOINT
33	33" WALL TO WALL JOINT
34	34" WALL TO WALL JOINT

**100% NJDCA CONSTRUCTION DOCUMENTS SUBMISSION FOR:**  
**NEW PHILLIPSBURG HIGH SCHOOL**  
 DOE# 4100-N01-04-1000  
 SDA# NT-0003-C02

**TOWN OF PHILLIPSBURG**  
 UPPER BELVIDERE ROAD LOT 44 / BLOCK 2  
 PHILLIPSBURG, NEW JERSEY 08865

**SDA**  
 STATE OF NEW JERSEY  
 NJ SCHOOL DEVELOPMENT AUTHORITY

**Design Ideas Group**  
 ARCHITECTS + DESIGNERS

PROJECT # 2008.956.00

DATE: OCTOBER 13, 2009

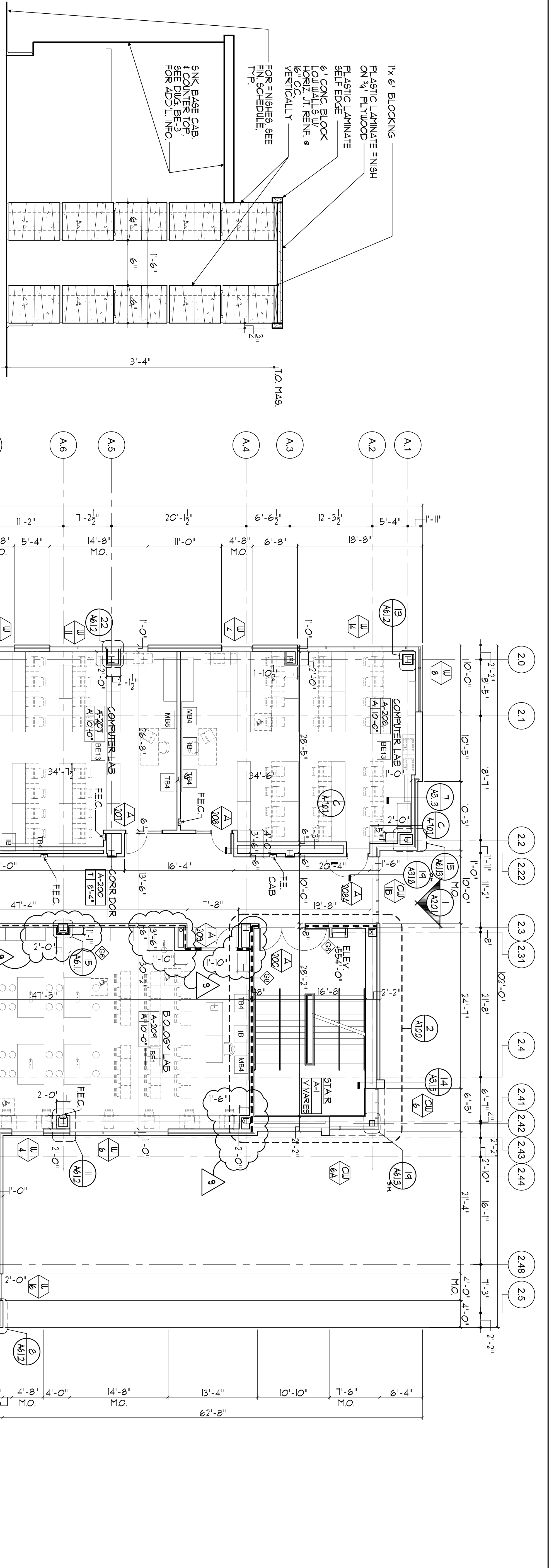
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DRAWING TITLE: FIRST FLOOR PARTIAL PLANS AREAS 'E' & 'F'

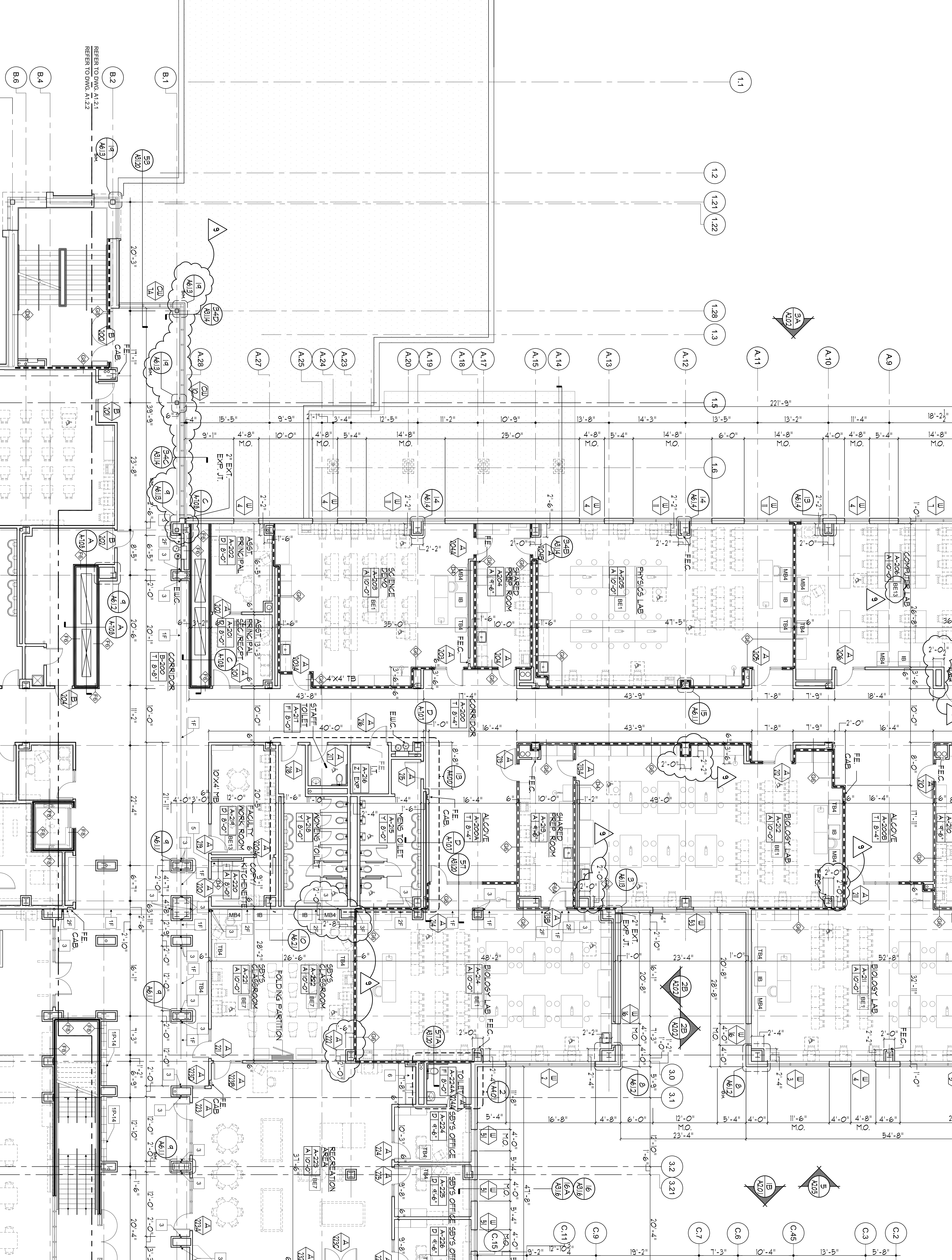
DRAWING NO: A-1.1.4

DRAWN BY: [Name]





**A** LOW WALL DETAIL @ NURSES RECEPTION  
SCALE: 1/2" = 1'-0"



REFERENCE NOTES		SYMBOLS LEGEND	
1	FLOOR FLOOR FINISH WATER EXPANSION JOINT COVER WITH 1/4\"/>	WB	BUILT-IN EQUIPMENT
2	FLOOR FINISH WATER EXPANSION JOINT COVER WITH 1/4\"/>	BE	BUILDING EQUIPMENT
3	REFER TO WALL EXPANSION JOINT COVER - SEE SPEC FOR MORE INFORMATION	BE	APPROXIMATE POSITION FOR BUILT-IN EQUIPMENT
4	REFER TO WALL EXPANSION JOINT COVER - SEE SPEC FOR MORE INFORMATION	BE	APPROXIMATE POSITION FOR BUILT-IN EQUIPMENT
5	REFER TO WALL EXPANSION JOINT COVER - SEE SPEC FOR MORE INFORMATION	BE	APPROXIMATE POSITION FOR BUILT-IN EQUIPMENT
6	REFER TO WALL EXPANSION JOINT COVER - SEE SPEC FOR MORE INFORMATION	BE	APPROXIMATE POSITION FOR BUILT-IN EQUIPMENT
7	REFER TO WALL EXPANSION JOINT COVER - SEE SPEC FOR MORE INFORMATION	BE	APPROXIMATE POSITION FOR BUILT-IN EQUIPMENT
8	REFER TO WALL EXPANSION JOINT COVER - SEE SPEC FOR MORE INFORMATION	BE	APPROXIMATE POSITION FOR BUILT-IN EQUIPMENT
9	REFER TO WALL EXPANSION JOINT COVER - SEE SPEC FOR MORE INFORMATION	BE	APPROXIMATE POSITION FOR BUILT-IN EQUIPMENT
10	REFER TO WALL EXPANSION JOINT COVER - SEE SPEC FOR MORE INFORMATION	BE	APPROXIMATE POSITION FOR BUILT-IN EQUIPMENT

SCHEDULE OF INTERIORS FINISHES		ACoustical CEILING TILE LEGEND	
1	CEILING	1	AC1
2	WALLS	2	AC2
3	FLOOR	3	AC3
4	DOORS	4	AC4
5	WALLS	5	AC5
6	FLOOR	6	AC6
7	WALLS	7	AC7
8	FLOOR	8	AC8
9	WALLS	9	AC9
10	FLOOR	10	AC10
11	WALLS	11	AC11
12	FLOOR	12	AC12
13	WALLS	13	AC13
14	FLOOR	14	AC14
15	WALLS	15	AC15
16	FLOOR	16	AC16
17	WALLS	17	AC17
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38	FLOOR	38	AC38
39	WALLS	39	AC39
40	FLOOR	40	AC40
41	WALLS	41	AC41
42	FLOOR	42	AC42
43	WALLS	43	AC43
44	FLOOR	44	AC44
45	WALLS	45	AC45
46	FLOOR	46	AC46
47	WALLS	47	AC47
48	FLOOR	48	AC48
49	WALLS	49	AC49
50	FLOOR	50	AC50

**KEY PLAN**

100% NJDCA CONSTRUCTION DOCUMENTS SUBMISSION FOR:  
**NEW PHILLIPSBURG HIGH SCHOOL**  
 DOE# 4100-N01-04-1000  
 SDA# NT-0003-C02

**TOWN OF PHILLIPSBURG**  
 UPPER BELVIDERE ROAD LOT 44 / BLOCK 2  
 PHILLIPSBURG, NEW JERSEY 08865

**SDA**  
 STATE OF NEW JERSEY  
 N.J. SCHOOL DEVELOPMENT AUTHORITY

**APPENDIX A2 (REVISIONS)**

NO.	DATE	DESCRIPTION
1	08-12-10	ISSUED FOR PERMIT
2	09-04-11	ISSUED FOR PERMIT
3	09-17-10	ISSUED FOR PERMIT
4	09-17-10	ISSUED FOR PERMIT
5	09-17-10	ISSUED FOR PERMIT
6	09-17-10	ISSUED FOR PERMIT
7	09-17-10	ISSUED FOR PERMIT
8	09-17-10	ISSUED FOR PERMIT
9	09-17-10	ISSUED FOR PERMIT
10	09-17-10	ISSUED FOR PERMIT

**PROJECT INFORMATION**

PROJECT: # 2008-356-00  
 DRAWING TITLE: SECOND FLOOR PARTIAL PLAN AREA "A"  
 DRAWING NO.: A-1.2.1  
 DRAWN BY: [Name]

**DESIGNER**

**Design Ideas Group**  
 1111 BELVIDERE ROAD, SUITE 100  
 PHILLIPSBURG, NJ 08865  
 908.982.1111

























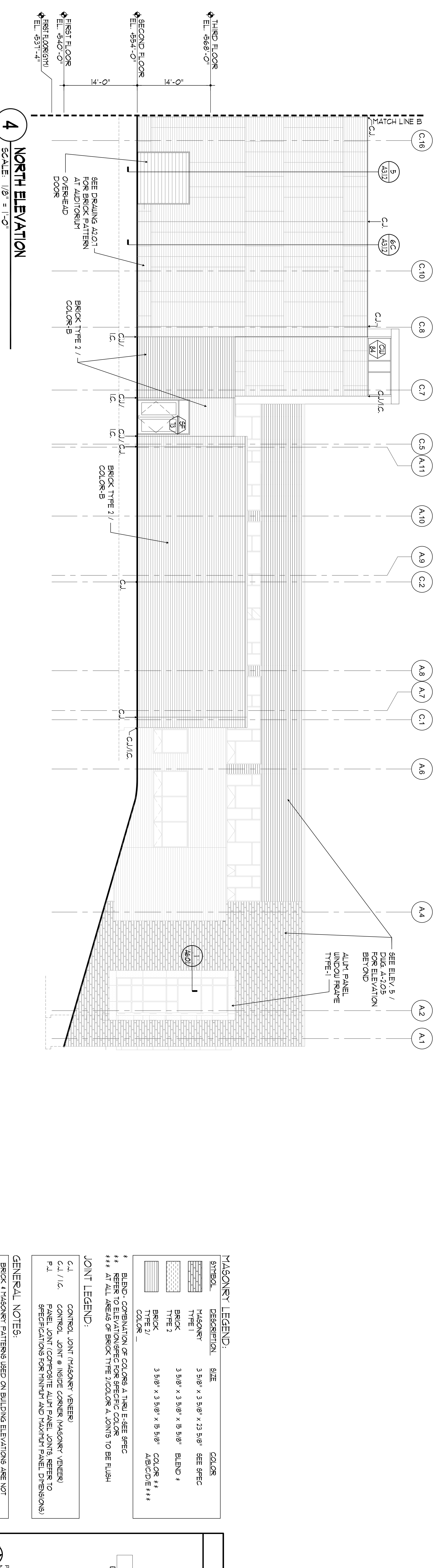
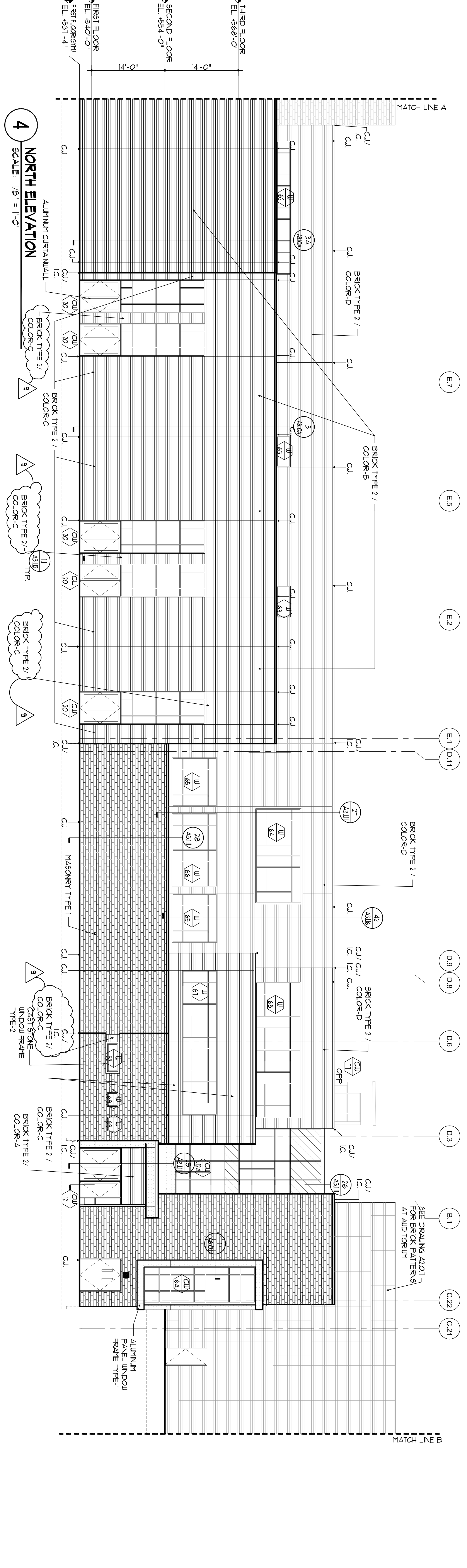
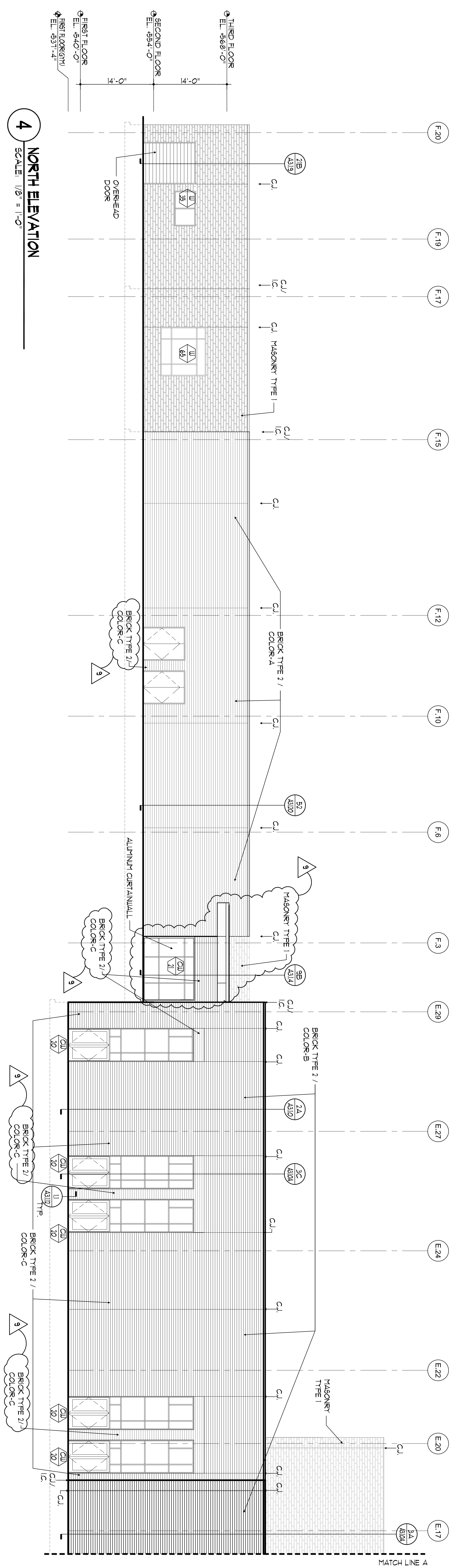












**SDA**  
NJ SCHOOL DEVELOPMENT AUTHORITY  
STATE OF NEW JERSEY

ARCHITECT  
**Design Ideas Group**  
ARCHITECTURE + DESIGN + ILLUSTRATION

PROJECT # - 2008-356-00

PHILLIPSBURG, NEW JERSEY  
100 BELVIDERE ROAD  
PHILLIPSBURG, NJ 08865

OWNER  
TOWN OF PHILLIPSBURG  
100 BELVIDERE ROAD  
PHILLIPSBURG, NJ 08865

100% NJDCA CONSTRUCTION DOCUMENTS SUBMISSION  
FOR:  
**NEW PHILLIPSBURG HIGH SCHOOL**  
DOE# 4100-N01-04-1000  
SDA# NT-0003-C02

**TOWN OF PHILLIPSBURG**  
UPPER BELVIDERE ROAD LOT 44 / BLOCK 2  
PHILLIPSBURG, NEW JERSEY 08865

**MASONRY LEGEND:**

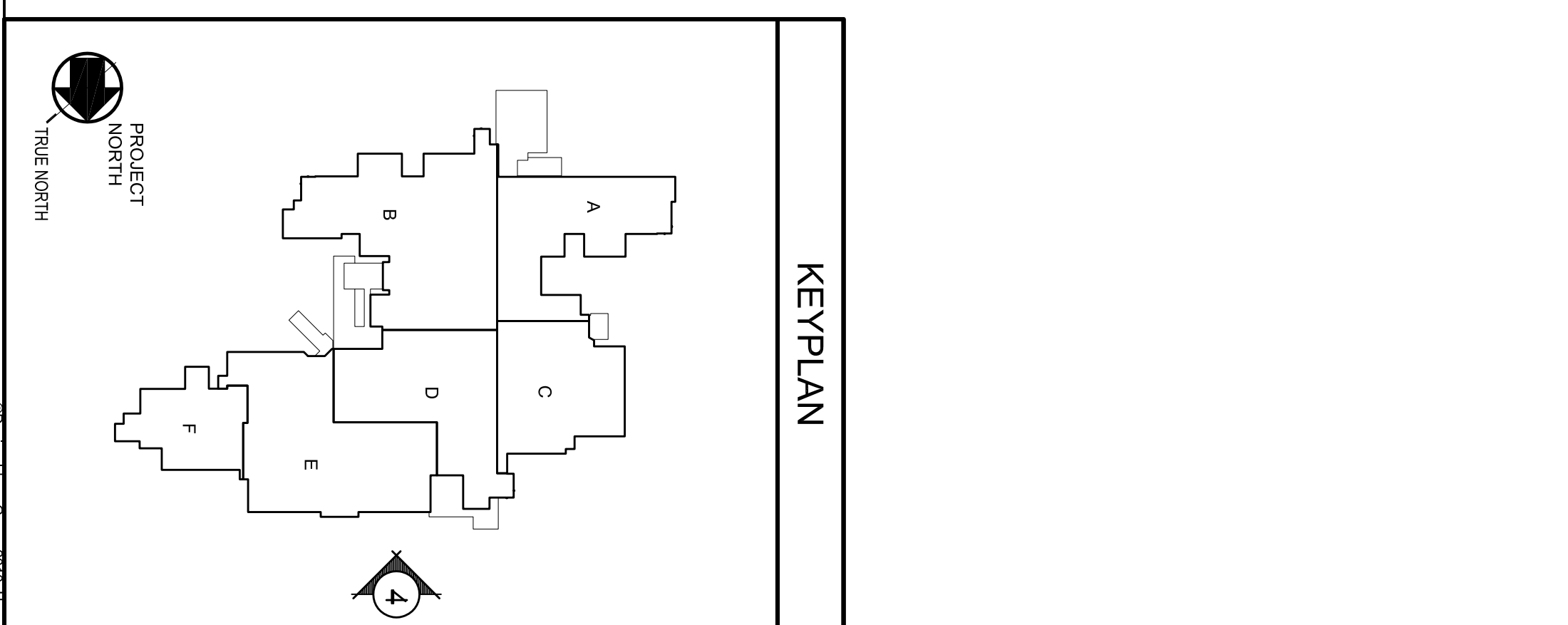
SYMBOL	DESCRIPTION	SIZE	COLOR
[Pattern]	MASONRY TYPE 1	3 5/8" x 3 5/8" x 7 1/2 5/8"	SEE SPEC
[Pattern]	BRICK TYPE 2	3 5/8" x 3 5/8" x 5 5/8"	BLIND *
[Pattern]	BRICK TYPE 3	3 5/8" x 3 5/8" x 5 5/8"	COLOR 1 / COLOR 2 / COLOR 3 / COLOR 4 / COLOR 5 / COLOR 6 / COLOR 7 / COLOR 8 / COLOR 9 / COLOR 10 / COLOR 11 / COLOR 12 / COLOR 13 / COLOR 14 / COLOR 15 / COLOR 16 / COLOR 17 / COLOR 18 / COLOR 19 / COLOR 20 / COLOR 21 / COLOR 22 / COLOR 23 / COLOR 24 / COLOR 25 / COLOR 26 / COLOR 27 / COLOR 28 / COLOR 29 / COLOR 30 / COLOR 31 / COLOR 32 / COLOR 33 / COLOR 34 / COLOR 35 / COLOR 36 / COLOR 37 / COLOR 38 / COLOR 39 / COLOR 40 / COLOR 41 / COLOR 42 / COLOR 43 / COLOR 44 / COLOR 45 / COLOR 46 / COLOR 47 / COLOR 48 / COLOR 49 / COLOR 50 / COLOR 51 / COLOR 52 / COLOR 53 / COLOR 54 / COLOR 55 / COLOR 56 / COLOR 57 / COLOR 58 / COLOR 59 / COLOR 60 / COLOR 61 / COLOR 62 / COLOR 63 / COLOR 64 / COLOR 65 / COLOR 66 / COLOR 67 / COLOR 68 / COLOR 69 / COLOR 70 / COLOR 71 / COLOR 72 / COLOR 73 / COLOR 74 / COLOR 75 / COLOR 76 / COLOR 77 / COLOR 78 / COLOR 79 / COLOR 80 / COLOR 81 / COLOR 82 / COLOR 83 / COLOR 84 / COLOR 85 / COLOR 86 / COLOR 87 / COLOR 88 / COLOR 89 / COLOR 90 / COLOR 91 / COLOR 92 / COLOR 93 / COLOR 94 / COLOR 95 / COLOR 96 / COLOR 97 / COLOR 98 / COLOR 99 / COLOR 100

**JOINT LEGEND:**

SYMBOL	DESCRIPTION
[Symbol]	CONTROL JOINT (MASONRY VENEER)
[Symbol]	CONTROL JOINT # INSIDE CORNER (MASONRY VENEER)
[Symbol]	PANEL JOINT (COMPOSITE ALUMINUM PANEL JOINTS REFER TO SPECIFICATIONS FOR MINIMUM AND MAXIMUM PANEL DIMENSIONS)

**GENERAL NOTES:**

- BRICK & MASONRY PATTERNS USED ON BUILDING ELEVATIONS ARE NOT NECESSARILY TO SCALE AND ARE NOT TO BE USED FOR CONSTRUCTION INFORMATION. REFER TO WALL SECTIONS FOR CONSTRUCTION INFORMATION.
- BLIND - COMPOSITION OF COLOR, A THRU E, SEE SPEC
- \*\* REFER TO ELEVATION SPEC FOR SPECIFIC COLOR
- \*\*\* AT ALL AREAS OF BRICK TYPE 2/COLOR A JOINTS TO BE FLUSH



**A-2.0.4**

DRAWING NO.:

DRAWN BY: AKS

DATE:

SUBMISSION DATE:

APPENDIX #2 (REVISION) 03-01-13

APPENDIX #1 11-21-12

NJSDA REVISIONS 09-12-12

NJDCA COMMENTS 03-04-11

NJDCA COMMENTS 08-12-10

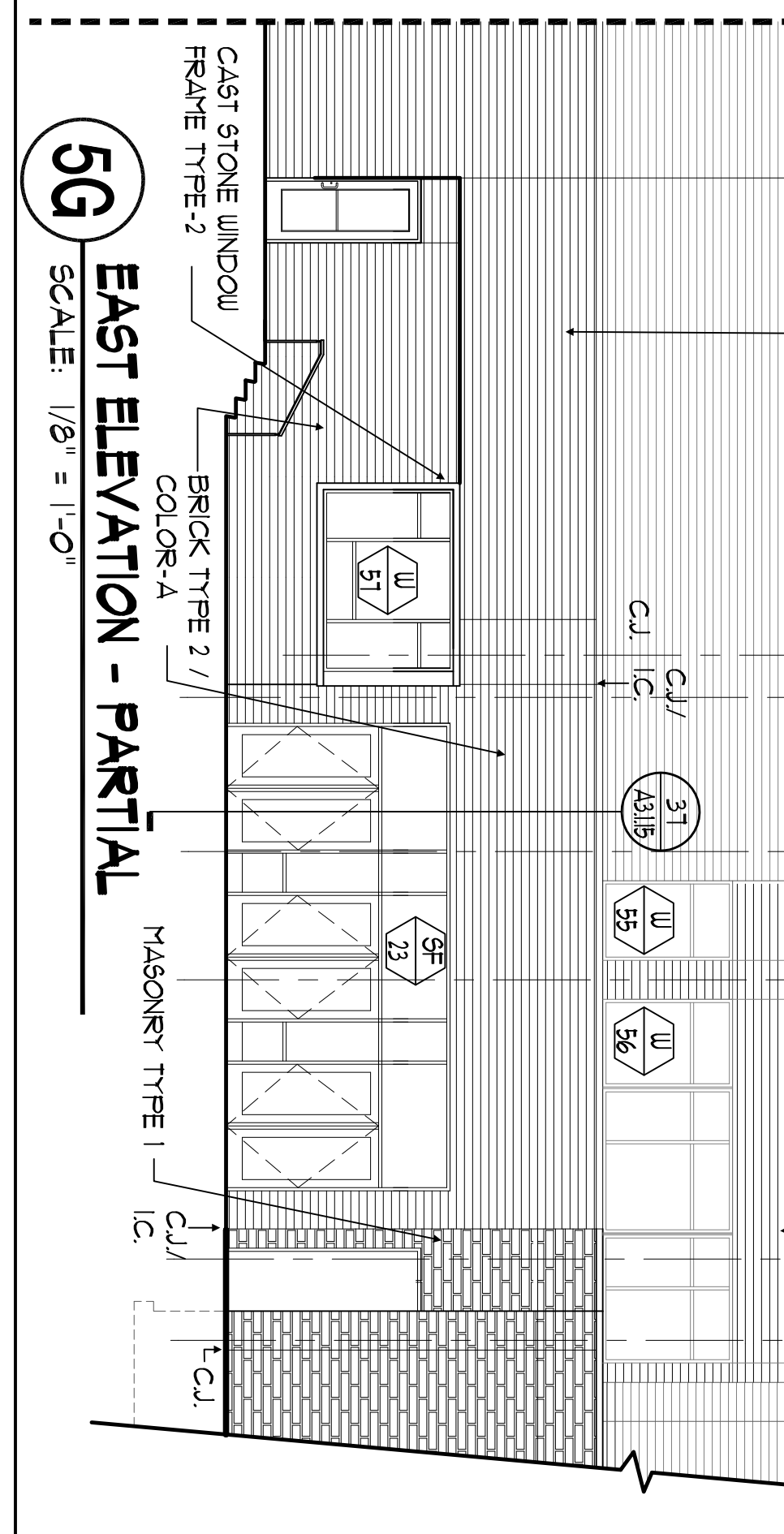
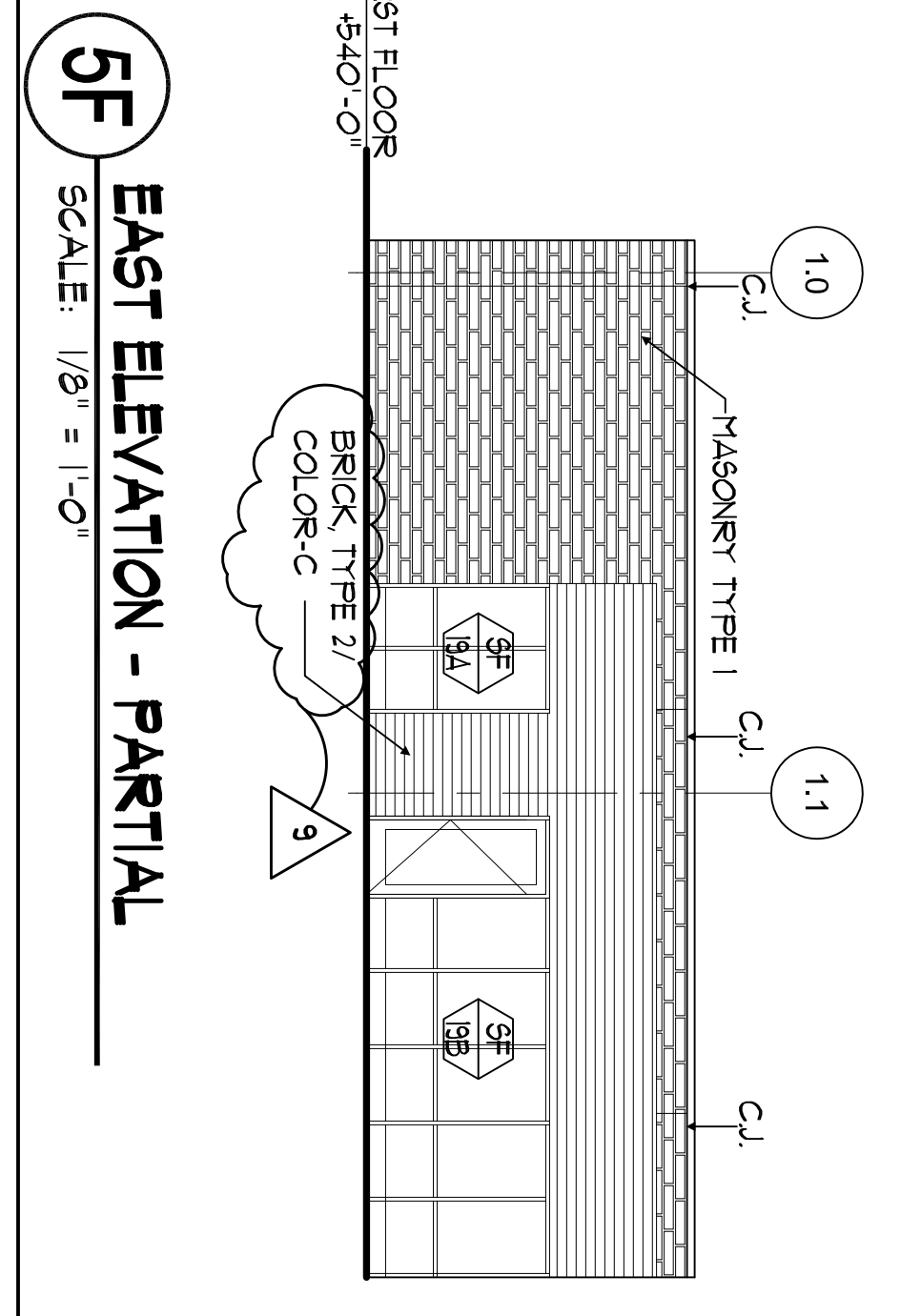
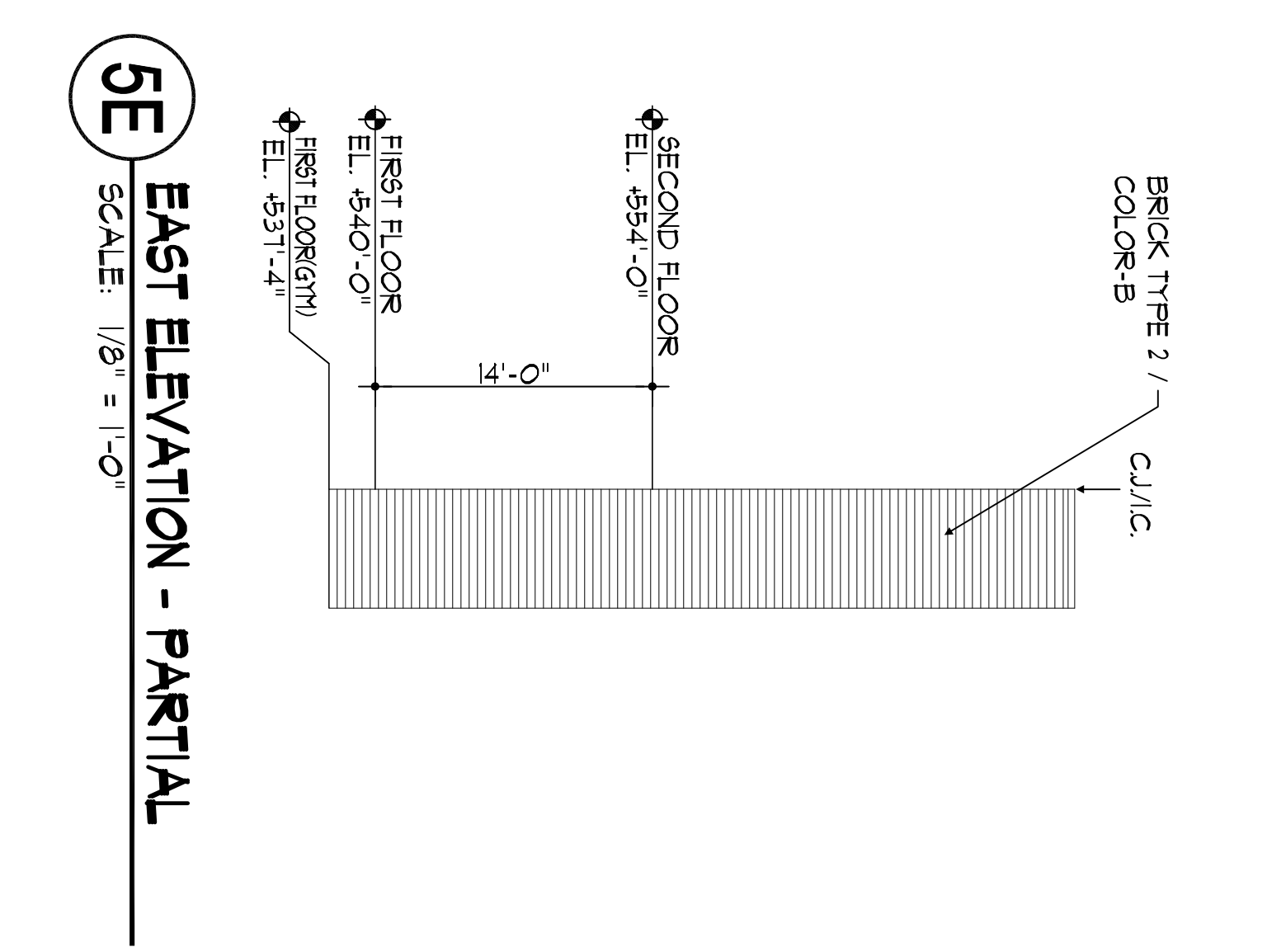
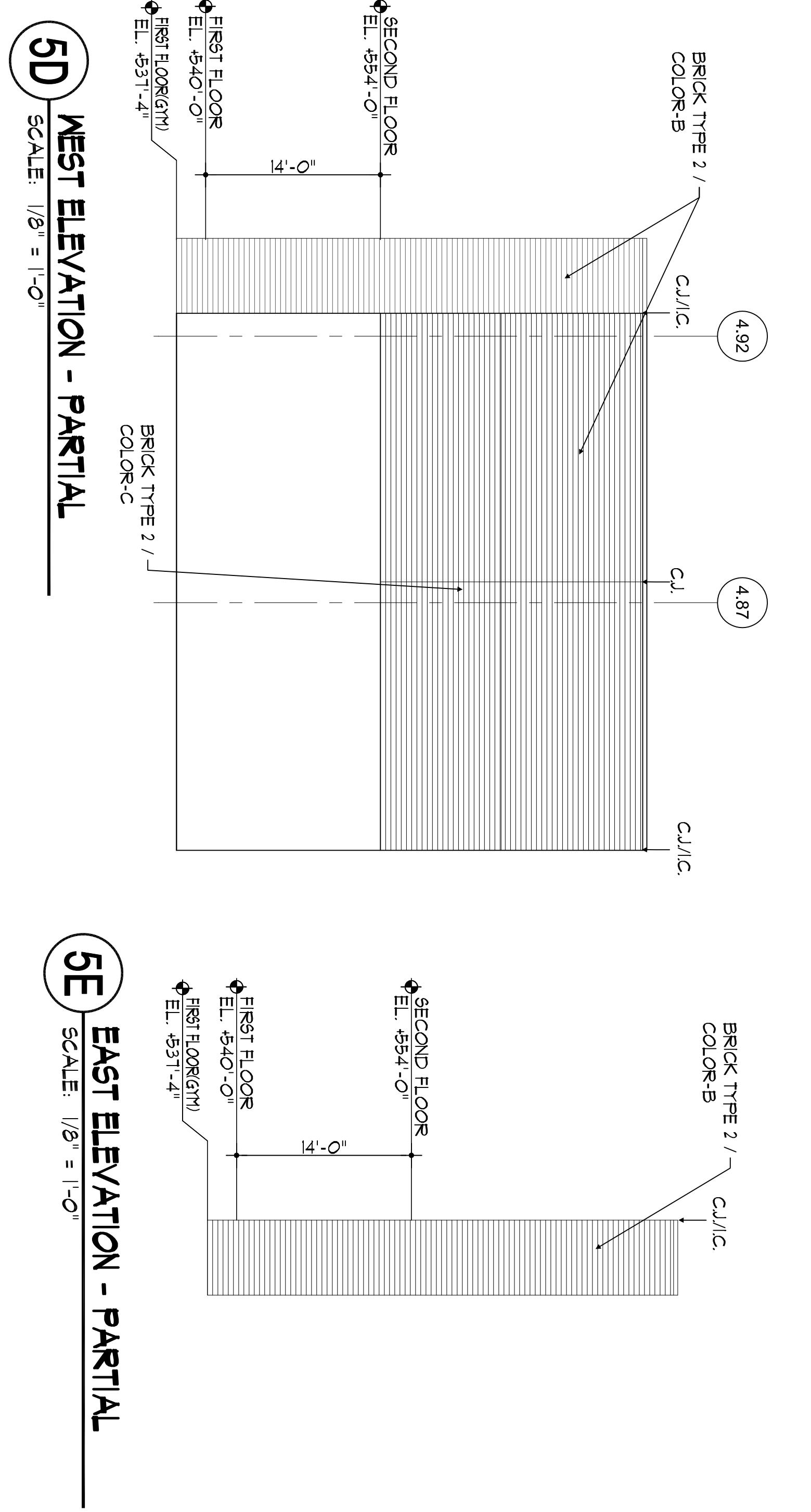
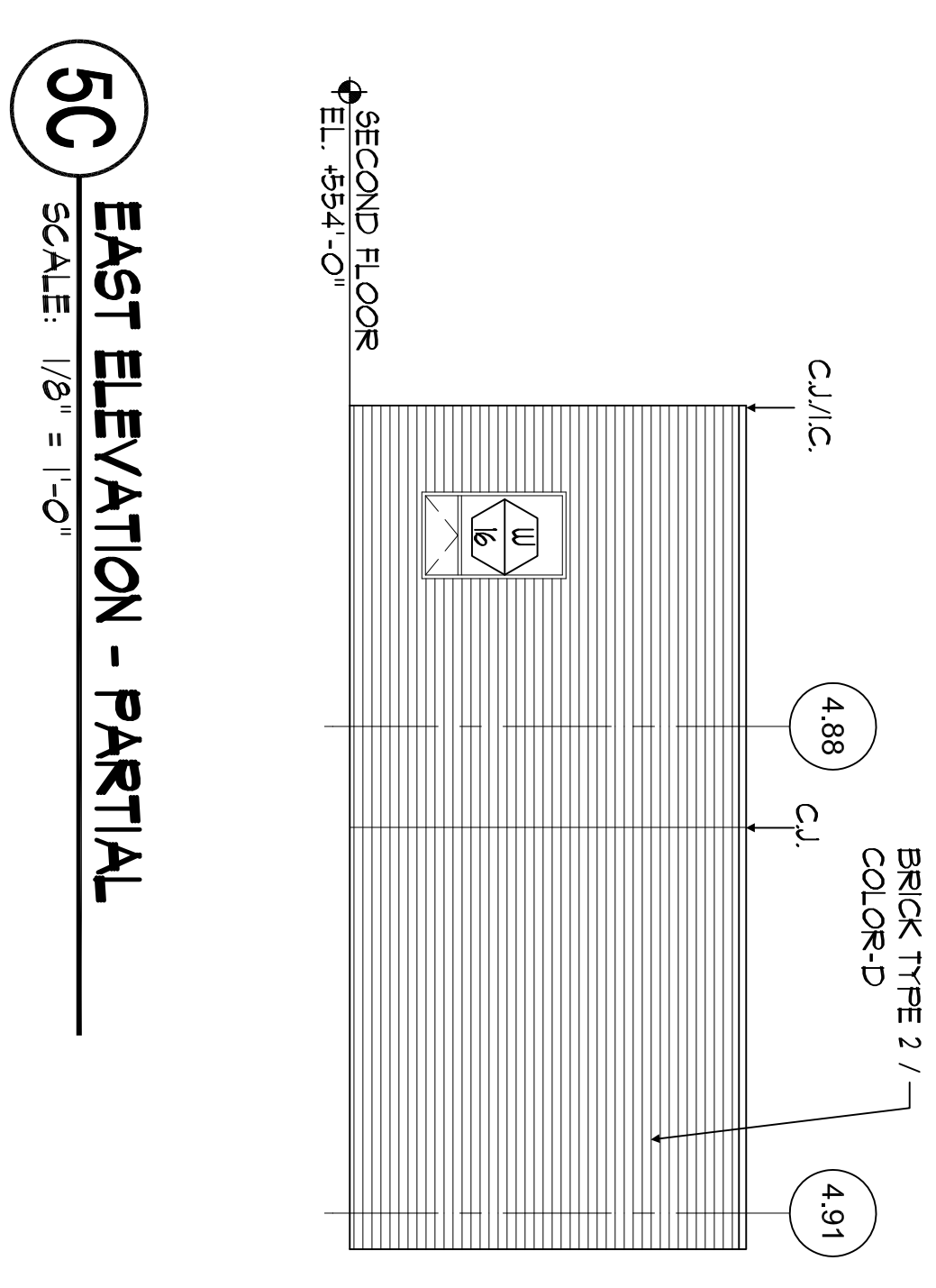
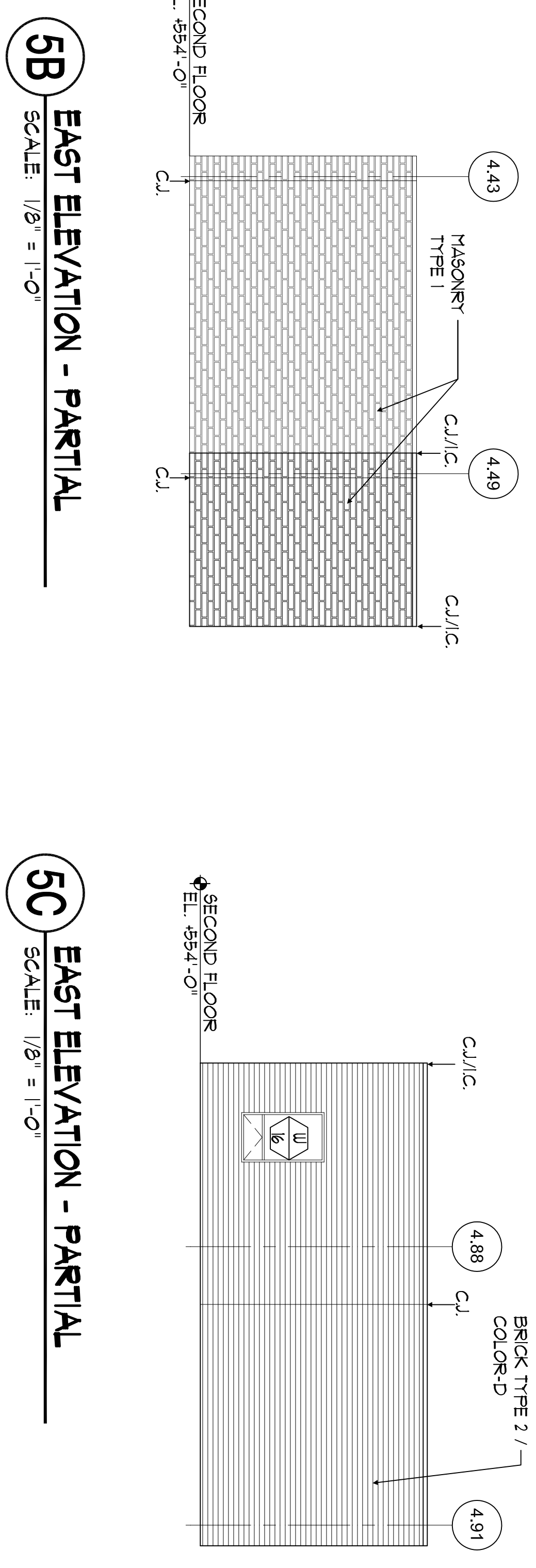
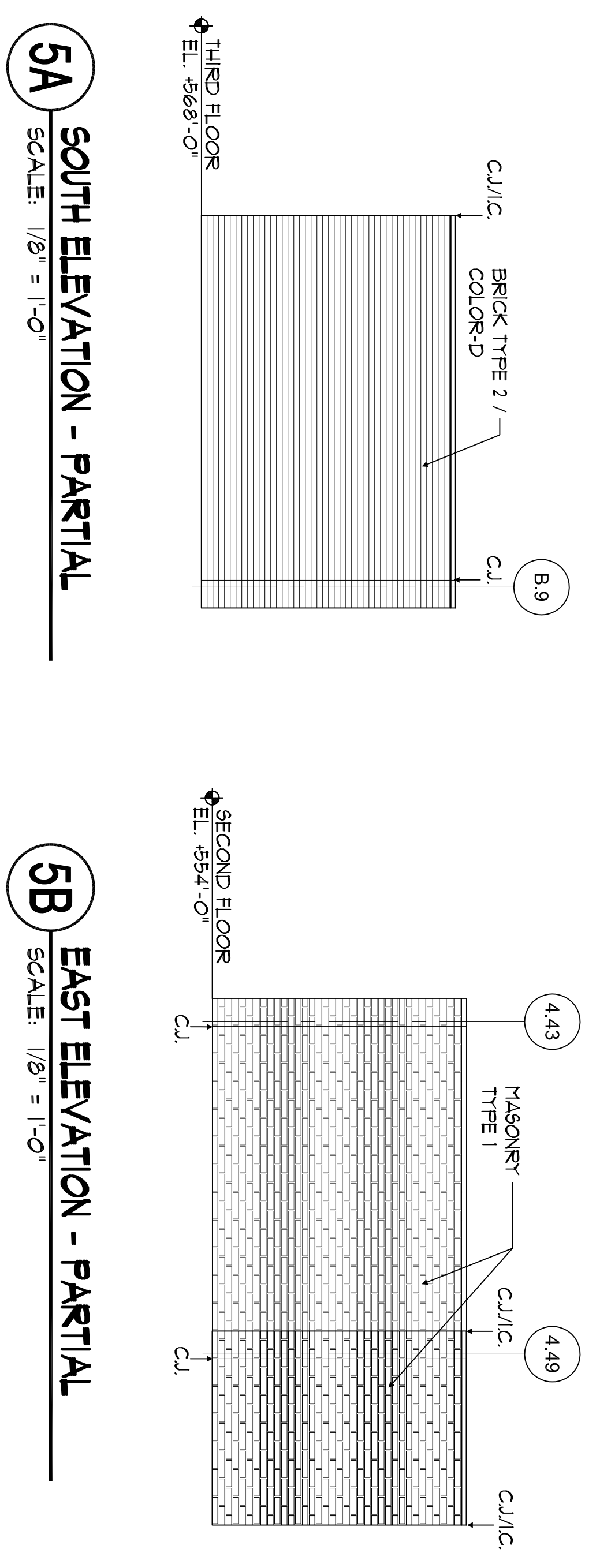
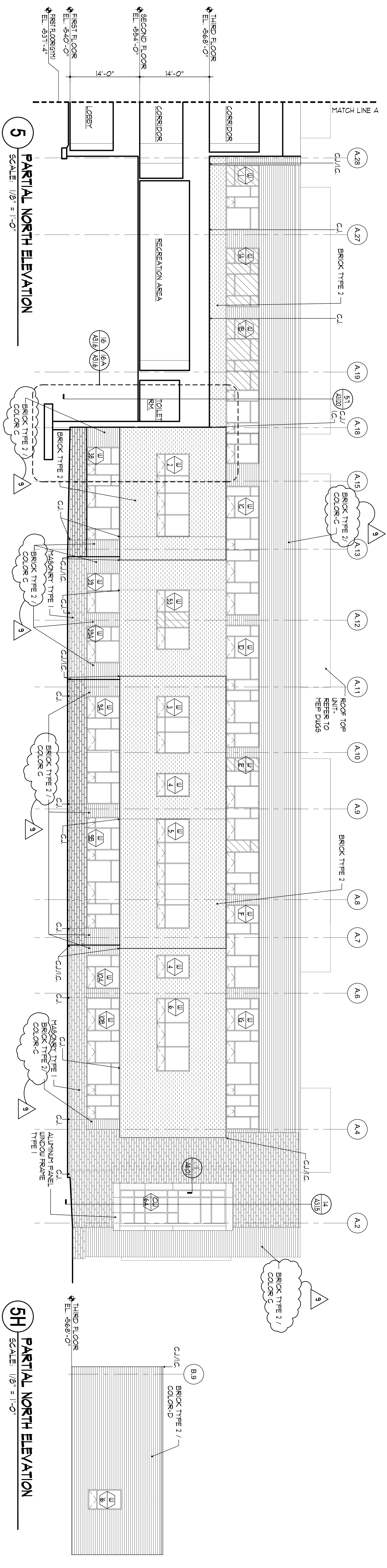
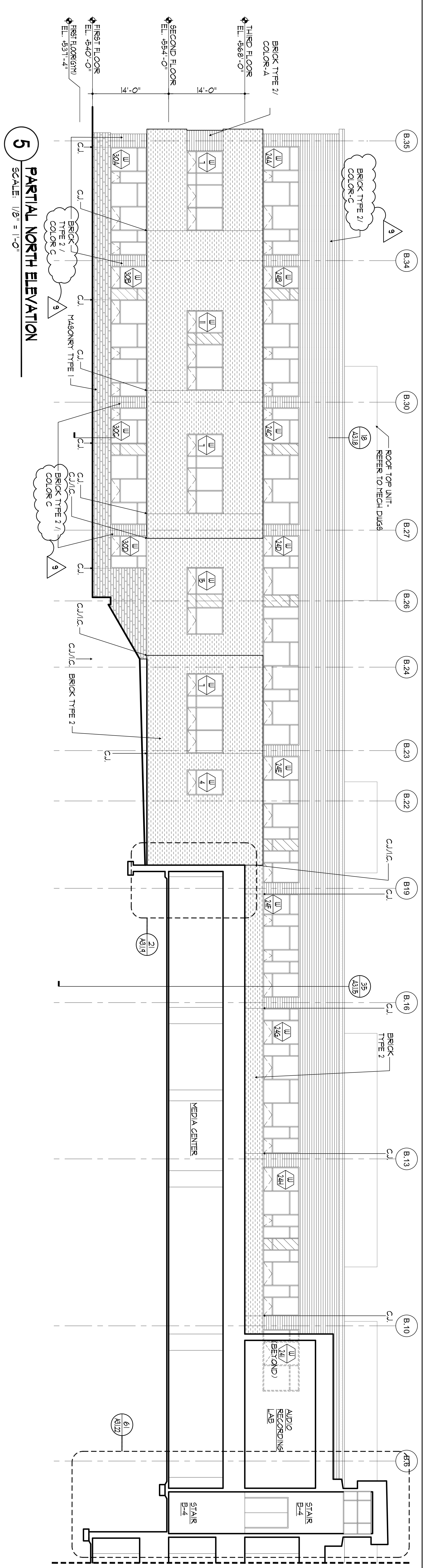
NJDCA COMMENTS 05-17-10

NJDCA COMMENTS 02-12-10

DATE: OCTOBER 13, 2009

SCALE: 1/8" = 1'-0"





**MASONRY LEGEND:**

SYMBOL	DESCRIPTION	SIZE	COLOR
[Pattern]	MASONRY TYPE 1	3 5/8" x 3 5/8" x 23 5/8"	SEE SPEC
[Pattern]	BRICK TYPE 1	3 5/8" x 3 5/8" x 15 5/8"	BLENDED
[Pattern]	BRICK TYPE 2	3 5/8" x 3 5/8" x 15 5/8"	COLOR #1
[Pattern]	BRICK TYPE 3	3 5/8" x 3 5/8" x 15 5/8"	COLOR #2
[Pattern]	BRICK TYPE 4	3 5/8" x 3 5/8" x 15 5/8"	COLOR #3

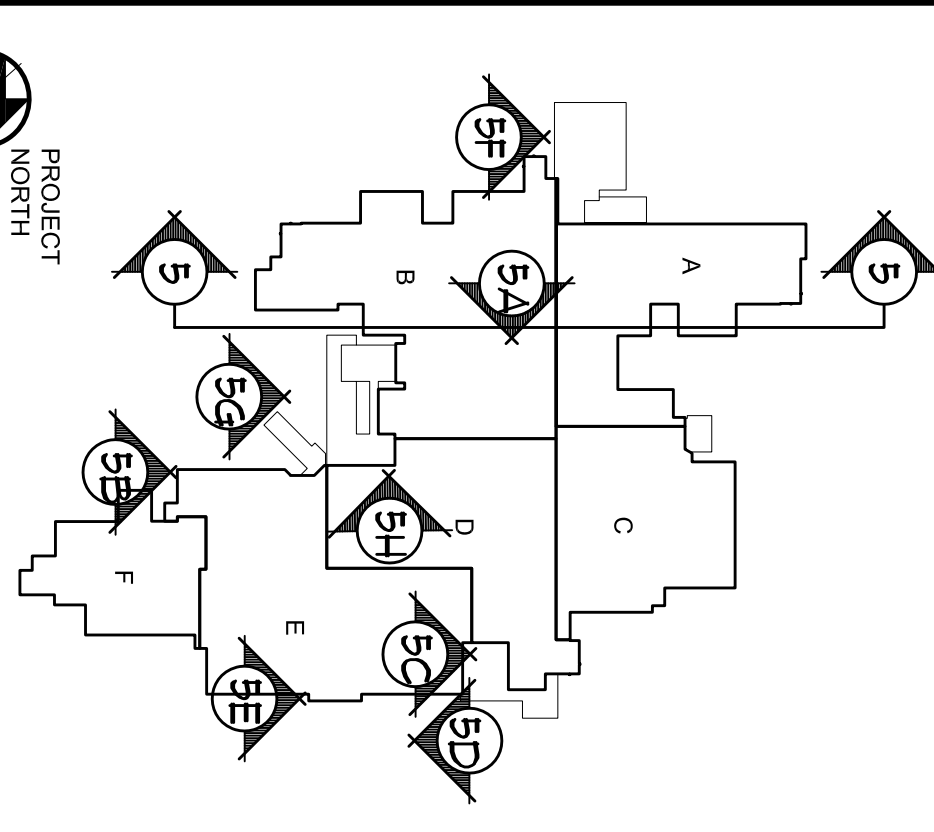
**JOINT LEGEND:**

C/J	CONTROL JOINT (MASONRY VENEER)
C/J/C	CONTROL JOINT @ INSIDE CORNER (MASONRY VENEER)
F/J	FINISH JOINT (MASONRY VENEER)

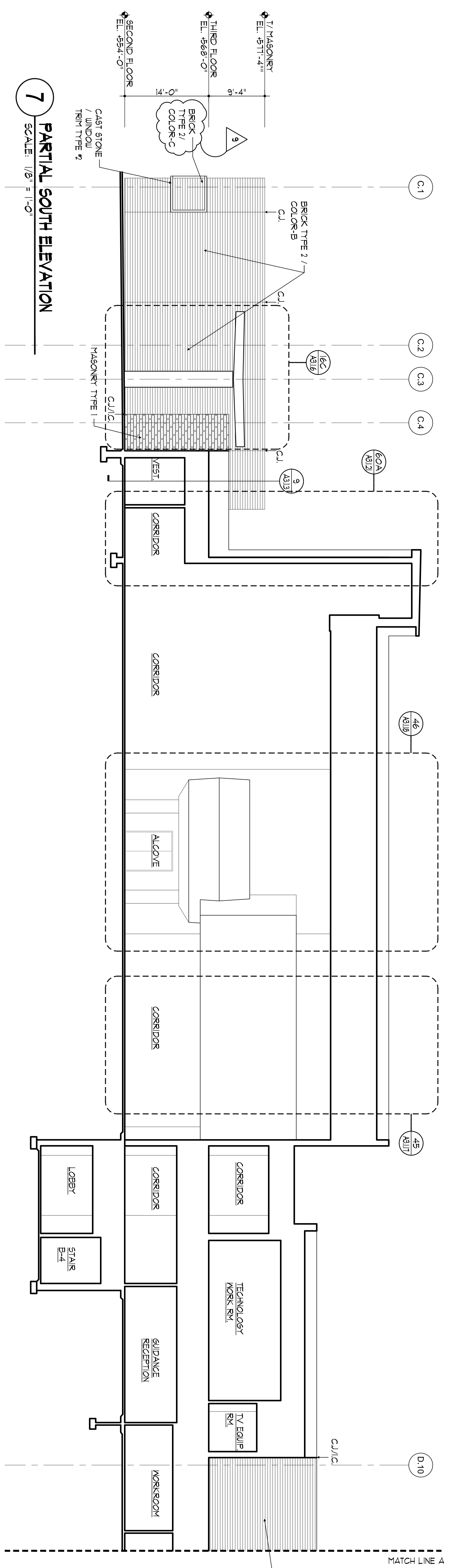
**GENERAL NOTES:**

1. BRICKWORK PATTERNS ARE TO BE USED AS SHOWN. SEE SPEC FOR MASONRY VENEER AND FINISH JOINT SPECIFICATIONS FOR FINISH AND MASONRY VENEER PATTERNS.

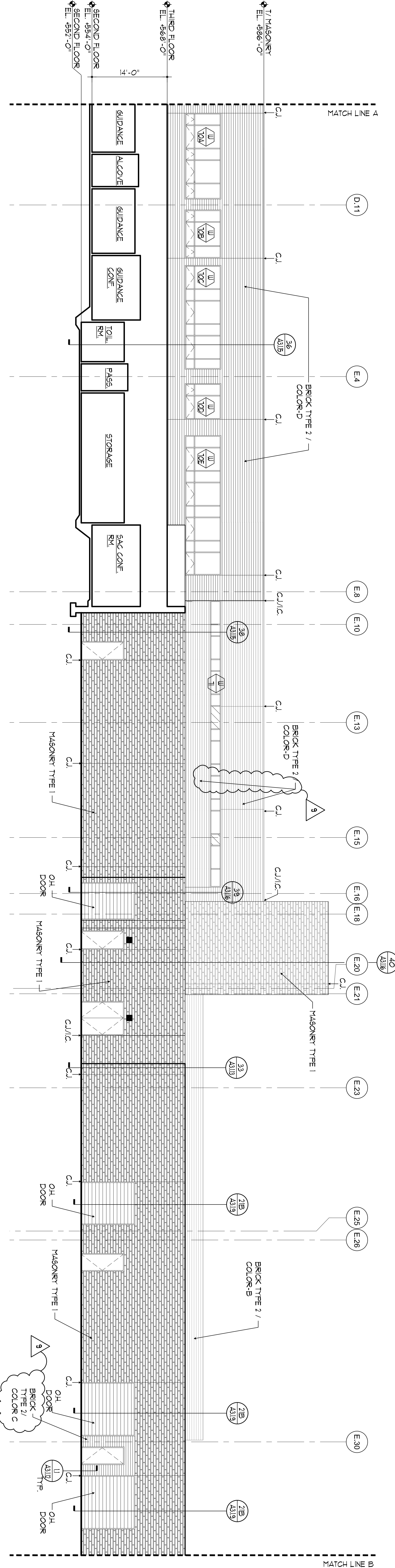
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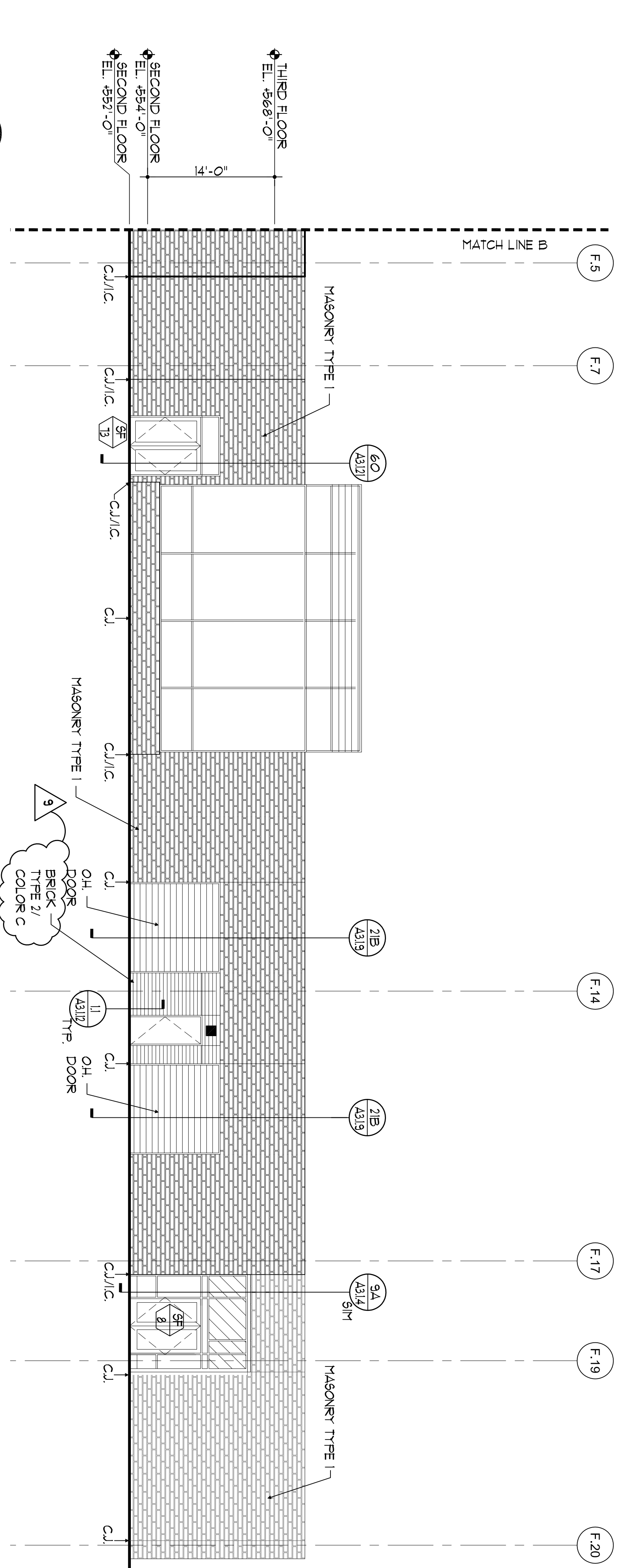
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<p>100% NJDCA CONSTRUCTION DOCUMENTS SUBMISSION FOR: <b>NEW PHILLIPSBURG HIGH SCHOOL</b> DOE# 4100-N01-04-1000 SDA# NT-0003-C02</p>		<p>TOWN OF PHILLIPSBURG UPPER BELVIDERE ROAD LOT 44 / BLOCK 2 PHILLIPSBURG, NEW JERSEY 08865</p>																						
<p>APPENDIX #2 (REVISIONS)</p> <table border="1"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>03-01-13</td> <td></td> </tr> <tr> <td>2</td> <td>03-12-12</td> <td></td> </tr> <tr> <td>3</td> <td>03-04-11</td> <td></td> </tr> <tr> <td>4</td> <td>08-12-10</td> <td></td> </tr> <tr> <td>5</td> <td>05-17-10</td> <td></td> </tr> <tr> <td>6</td> <td>02-12-10</td> <td></td> </tr> </tbody> </table>	NO.	DATE	DESCRIPTION	1	03-01-13		2	03-12-12		3	03-04-11		4	08-12-10		5	05-17-10		6	02-12-10		<p>SUBMISSION DATE</p>	<p>DRAWING NO. <b>A-2.0.5</b></p>	<p>DRAWN BY: AKS</p>
NO.	DATE	DESCRIPTION																						
1	03-01-13																							
2	03-12-12																							
3	03-04-11																							
4	08-12-10																							
5	05-17-10																							
6	02-12-10																							



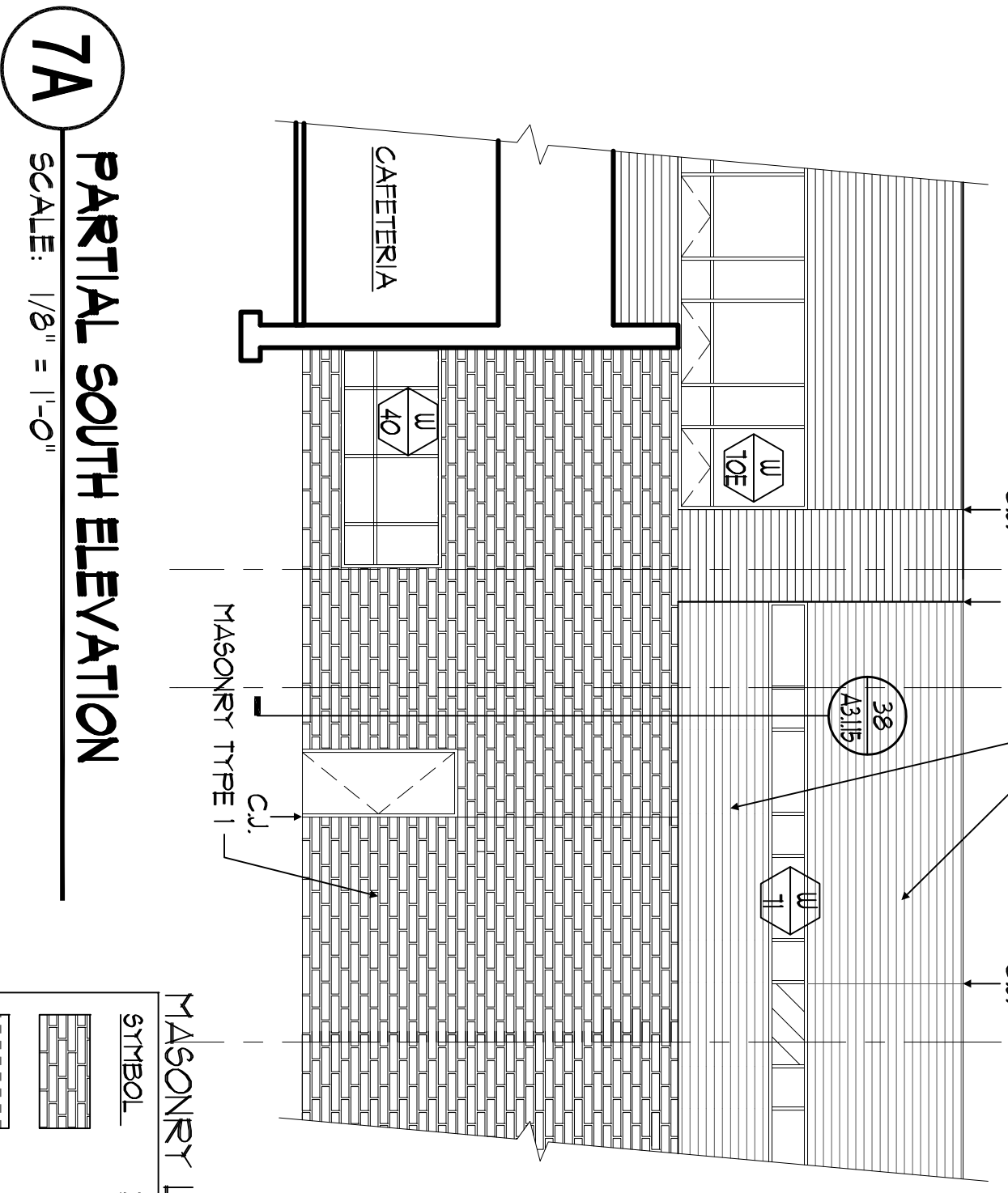
**7** PARTIAL SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"



**7** PARTIAL SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"



**7** PARTIAL SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"



**7A** PARTIAL SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"

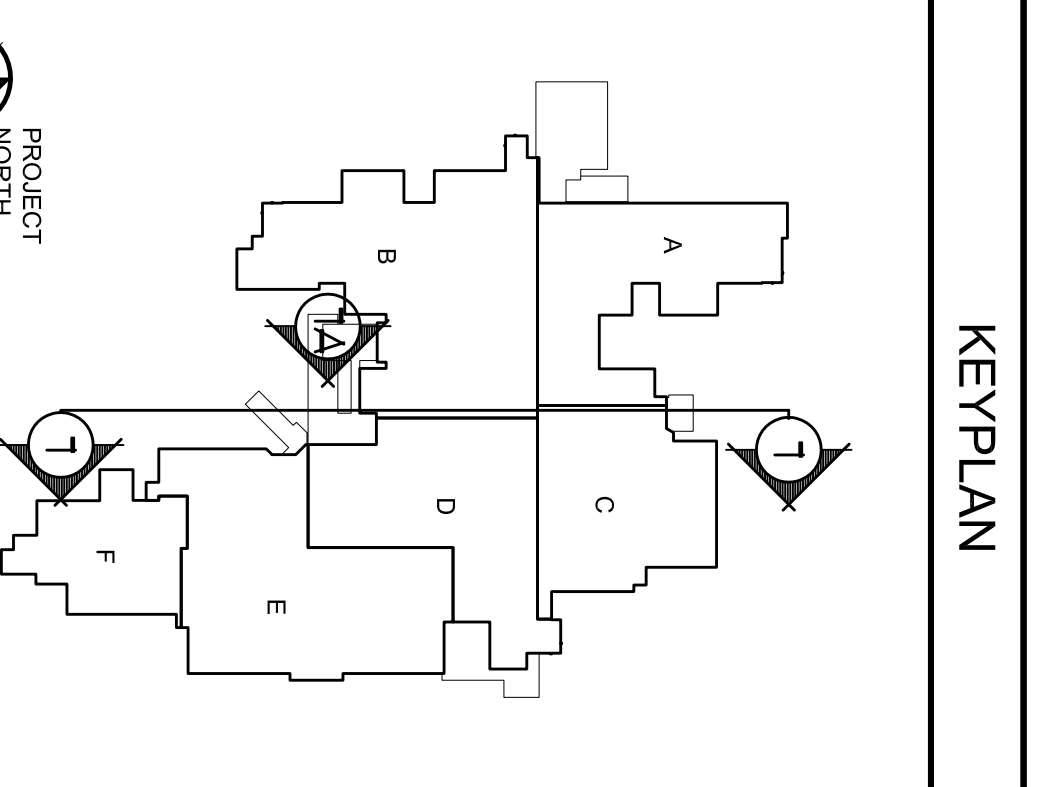
**MASONRY LEGEND:**

SYMBOL	DESCRIPTION	SIZE	COLOR
[Pattern]	MASONRY TYPE 1	3 5/8" x 3 5/8" x 23 5/8"	SEE SPEC
[Pattern]	BRICK TYPE 2	3 5/8" x 3 5/8" x 5 5/8"	BLIND #
[Pattern]	BRICK TYPE 2 / COLOR-B	3 5/8" x 3 5/8" x 5 5/8"	COLOR **
[Pattern]	BRICK TYPE 2 / COLOR-C	3 5/8" x 3 5/8" x 5 5/8"	A/B/C/D/E ***

\*\*\* REFER TO ELEVATION SPEC FOR SPECIFIC COLOR  
\*\* AT ALL ANGLES OF BRICK TYPE 2 COLOR A, JOINTS TO BE FLUSH  
\* BLEND - COMBINATION OF COLORS A, THRU E - SEE SPEC  
\* \* \* \* \*

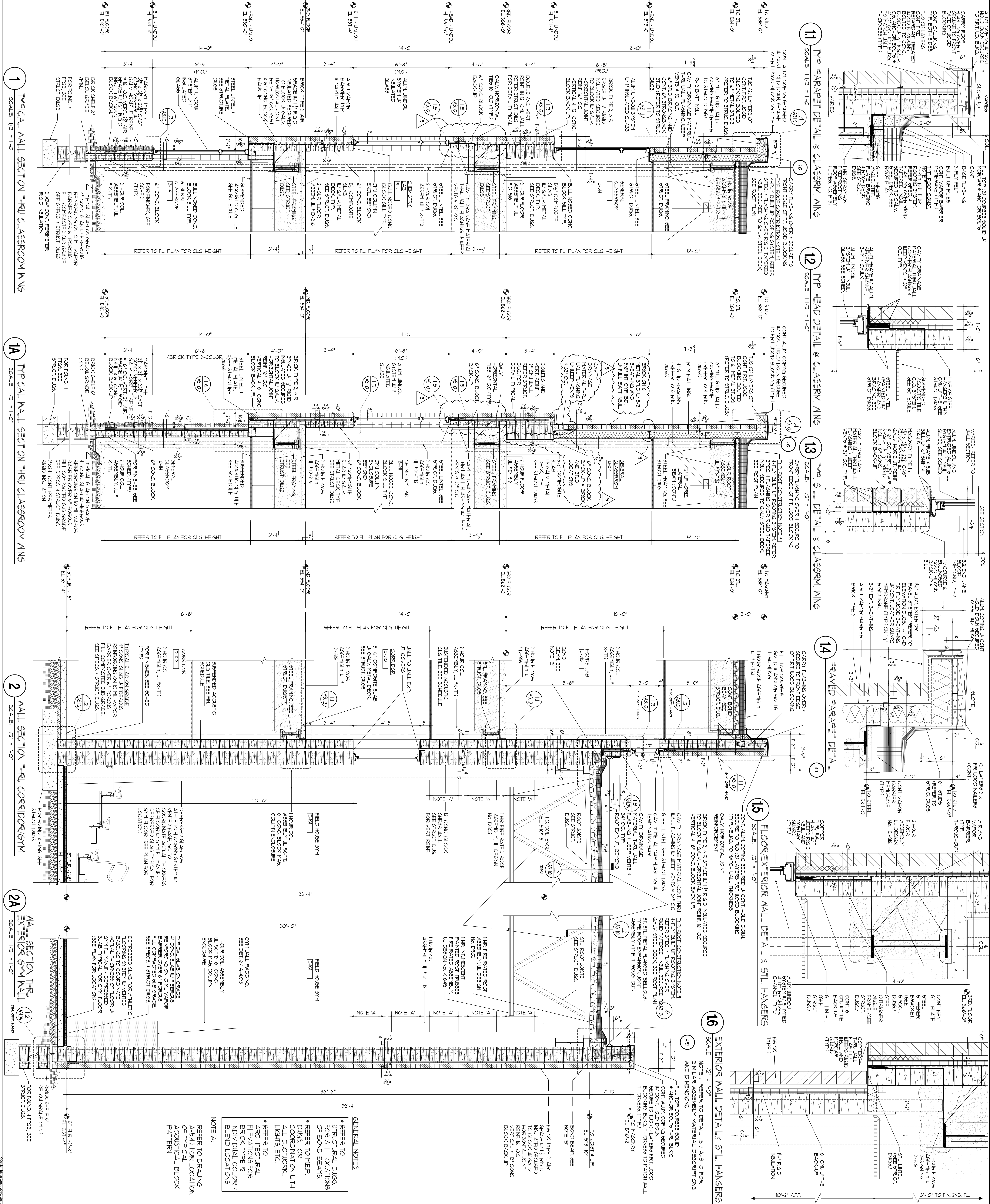
**JOINT LEGEND:**  
C.J. CONTROL JOINT (MASONRY VENEER)  
C.J./I.C. CONTROL JOINT @ INSIDE CORNER (MASONRY VENEER)  
P.J. PANEL JOINT (COMPOSITE ALUM. PANEL JOINTS, REFER TO SPECIFICATIONS FOR MINIMUM AND MAXIMUM PANEL DIMENSIONS)

**GENERAL NOTES:**  
BRICK & MASONRY PATTERNS USED ON BUILDING ELEVATIONS ARE NOT NECESSARILY TO SCALE AND ARE NOT TO BE USED FOR CONSTRUCTION INFORMATION. REFER TO THE SPECIFICATIONS FOR CONSTRUCTION INFORMATION.



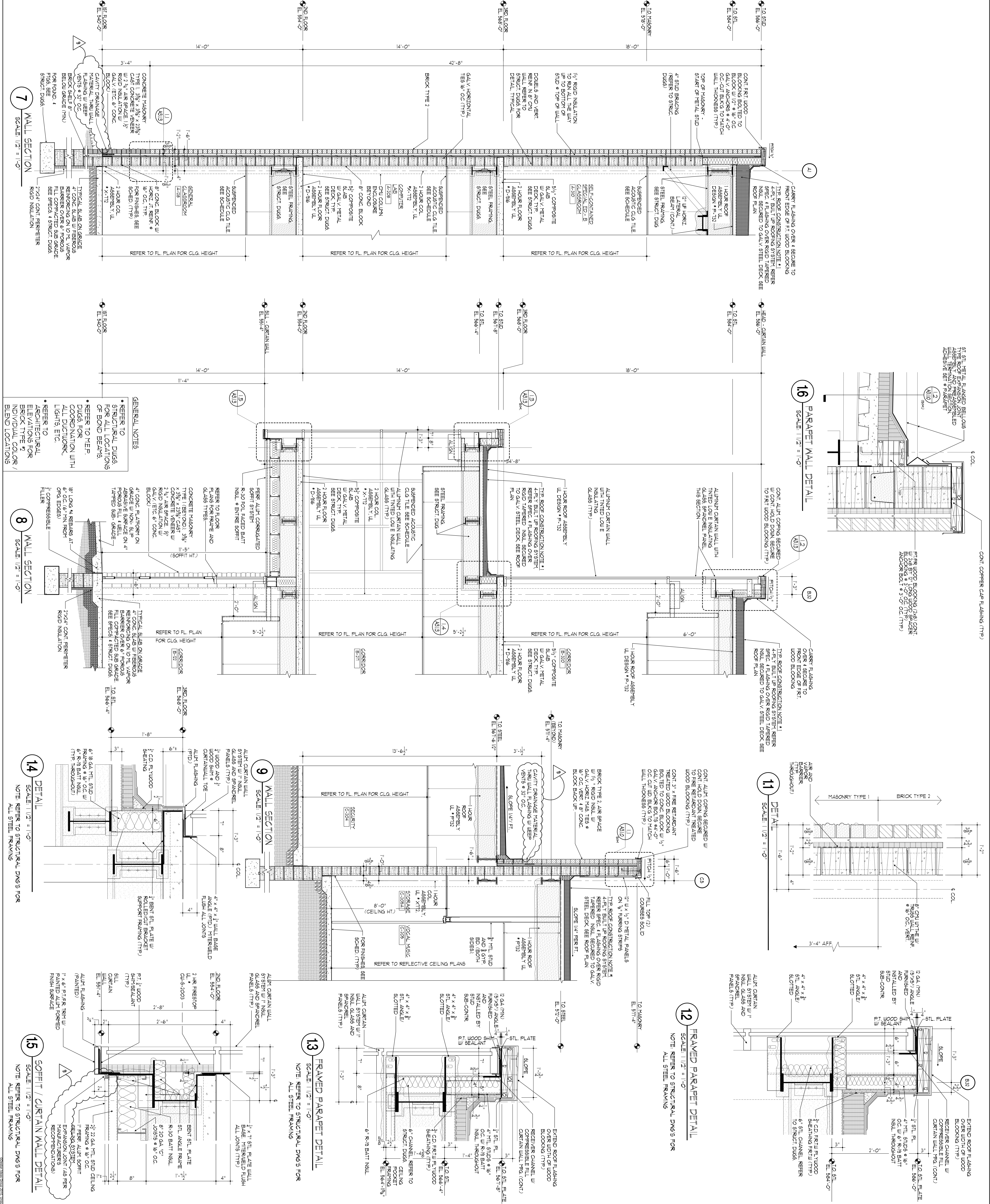
 NJ SCHOOL DEVELOPMENT AUTHORITY STATE OF NEW JERSEY	ARCHITECT <b>Design Ideas Group</b> ARCHITECTURE + DESIGN + ILLUSTRATION 1000 BELLEVILLE AVENUE SUITE 200 BELLEVILLE, NJ 07003 TEL: 908.261.1111 WWW.DESIGNIDEASGROUP.COM	PROJECT # - 2008.9360.00 PREPARED, DRAWING AND PLOTTED BY: MCOIMBRA CHECKED BY: MCOIMBRA DATE: 02/27/13 CADD: MCOIMBRA DATE: 02/27/13 PLOT: MCOIMBRA DATE: 02/27/13	100% NJDCA CONSTRUCTION DOCUMENTS SUBMISSION FOR: <b>NEW PHILLIPSBURG HIGH SCHOOL</b> DOE# 4100-N01-04-1000 SDA# NT-0003-C02 <b>TOWN OF PHILLIPSBURG</b> UPPER BELVIDERE ROAD LOT 44 / BLOCK 2 PHILLIPSBURG, NEW JERSEY 08865	APPENDIX A2 (REVISION) 03-01-13 NJSDA REVISIONS 03-01-12 NJSDA COMMENTS 03-04-11 NJSDA COMMENTS 03-08-12-10 NJSDA COMMENTS 05-17-10 NJSDA COMMENTS 02-12-10 DATE: OCTOBER 13, 2009 SCALE: 1/8" = 1'-0"
SUBMISSION DATE: _____				
DRAWING NO: <b>A-2.0.6</b> DRAWN BY: AKS				





<p>100% NJDCA CONSTRUCTION DOCUMENTS SUBMISSION FOR:  <b>NEW PHILLIPSBURG HIGH SCHOOL</b>          DOE# 4100-N01-04-1000          SDA# NT-0003-C02</p> <p><b>TOWN OF PHILLIPSBURG</b>          UPPER BELVIDERE ROAD LOT 44 / BLOCK 2          PHILLIPSBURG, NEW JERSEY 08865</p>		<p><b>SDA</b>          STATE OF NEW JERSEY          NJ SCHOOL DEVELOPMENT AUTHORITY</p>																		
<p><b>APPENDIX A2 (REVISIONS)</b></p> <table border="1"> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> <tr> <td>1</td> <td>08-12-10</td> <td>ISSUED FOR PERMIT</td> </tr> <tr> <td>2</td> <td>09-04-11</td> <td>ISSUED FOR PERMIT</td> </tr> <tr> <td>3</td> <td>08-12-10</td> <td>ISSUED FOR PERMIT</td> </tr> <tr> <td>4</td> <td>05-17-10</td> <td>ISSUED FOR PERMIT</td> </tr> <tr> <td>5</td> <td>02-12-10</td> <td>ISSUED FOR PERMIT</td> </tr> </table>	NO.	DATE	DESCRIPTION	1	08-12-10	ISSUED FOR PERMIT	2	09-04-11	ISSUED FOR PERMIT	3	08-12-10	ISSUED FOR PERMIT	4	05-17-10	ISSUED FOR PERMIT	5	02-12-10	ISSUED FOR PERMIT	<p><b>PROJECT #</b> 2008.956.00</p> <p><b>DATE</b> OCTOBER 13, 2009</p> <p><b>SCALE</b> 1/2" = 1'-0"</p>	<p><b>Design Ideas Group</b>          ARCHITECTS &amp; DESIGNERS</p>
NO.	DATE	DESCRIPTION																		
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2	09-04-11	ISSUED FOR PERMIT																		
3	08-12-10	ISSUED FOR PERMIT																		
4	05-17-10	ISSUED FOR PERMIT																		
5	02-12-10	ISSUED FOR PERMIT																		
<p><b>DRAWING TITLE</b>          WALL SECTIONS</p> <p><b>DRAWING NO.</b>  <b>A-3-1.0</b></p> <p><b>DRAWN BY</b> DMK</p>	<p><b>SUBMISSION</b></p> <table border="1"> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> <tr> <td>1</td> <td>02-12-10</td> <td>ISSUED FOR PERMIT</td> </tr> <tr> <td>2</td> <td>05-17-10</td> <td>ISSUED FOR PERMIT</td> </tr> <tr> <td>3</td> <td>08-12-10</td> <td>ISSUED FOR PERMIT</td> </tr> <tr> <td>4</td> <td>09-04-11</td> <td>ISSUED FOR PERMIT</td> </tr> <tr> <td>5</td> <td>08-12-10</td> <td>ISSUED FOR PERMIT</td> </tr> </table>	NO.	DATE	DESCRIPTION	1	02-12-10	ISSUED FOR PERMIT	2	05-17-10	ISSUED FOR PERMIT	3	08-12-10	ISSUED FOR PERMIT	4	09-04-11	ISSUED FOR PERMIT	5	08-12-10	ISSUED FOR PERMIT	<p><b>PROJECT #</b> 2008.956.00</p> <p><b>DATE</b> OCTOBER 13, 2009</p> <p><b>SCALE</b> 1/2" = 1'-0"</p>
NO.	DATE	DESCRIPTION																		
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3	08-12-10	ISSUED FOR PERMIT																		
4	09-04-11	ISSUED FOR PERMIT																		
5	08-12-10	ISSUED FOR PERMIT																		





<p><b>SDA</b> STATE OF NEW JERSEY NJ SCHOOLS DEVELOPMENT AUTHORITY</p>	<p><b>Design Ideas Group</b> ARCHITECTURE + DESIGN + ILLUSTRATION</p>	<p>PROJECT # 2008.956.00</p>	<p>PHILLIPSBURG HIGH SCHOOL 100 BELVIDERE ROAD PHILLIPSBURG, NJ 08865</p>	<p>100% NJDCA CONSTRUCTION DOCUMENTS SUBMISSION FOR: <b>NEW PHILLIPSBURG HIGH SCHOOL</b> DOE# 4100-N01-04-1000 SDA# NT-0003-C02</p> <p><b>TOWN OF PHILLIPSBURG</b> UPPER BELVIDERE ROAD LOT 44 / BLOCK 2 PHILLIPSBURG, NEW JERSEY 08865</p>
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SUBMISSION	DATE
APPENDUM #2 (REVISION)	03-01-13
NJSDA REVISIONS	03-01-12
NJSDA COMMENTS	03-04-11
NJSDA COMMENTS	03-08-12-10
NJSDA COMMENTS	05-17-10
NJSDA COMMENTS	02-12-10
DATE	OCTOBER 13, 2009
SCALE	1/2" = 1'-0"

DRAWING TITLE	SCALE
<b>WALL SECTIONS</b>	1/2" = 1'-0"

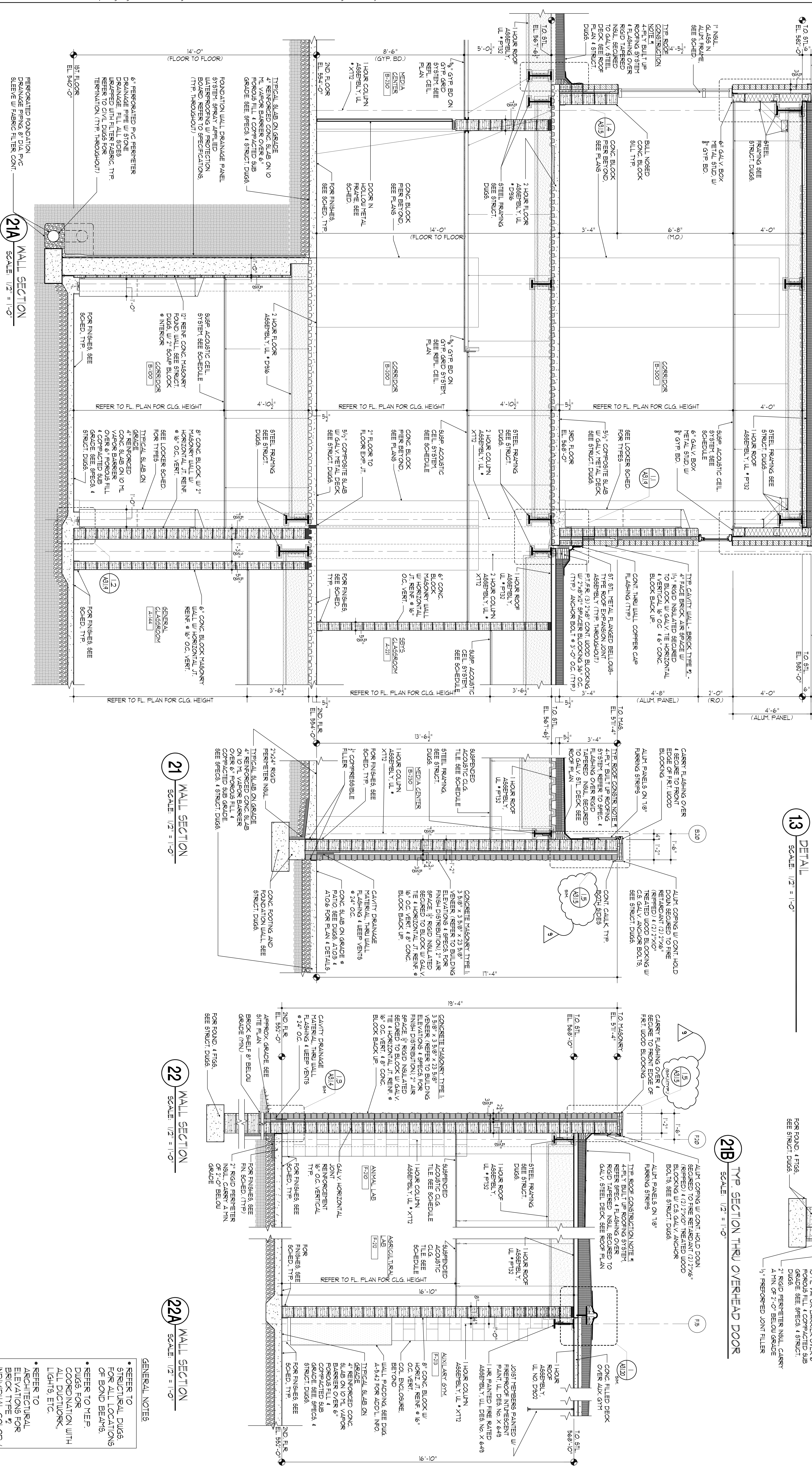
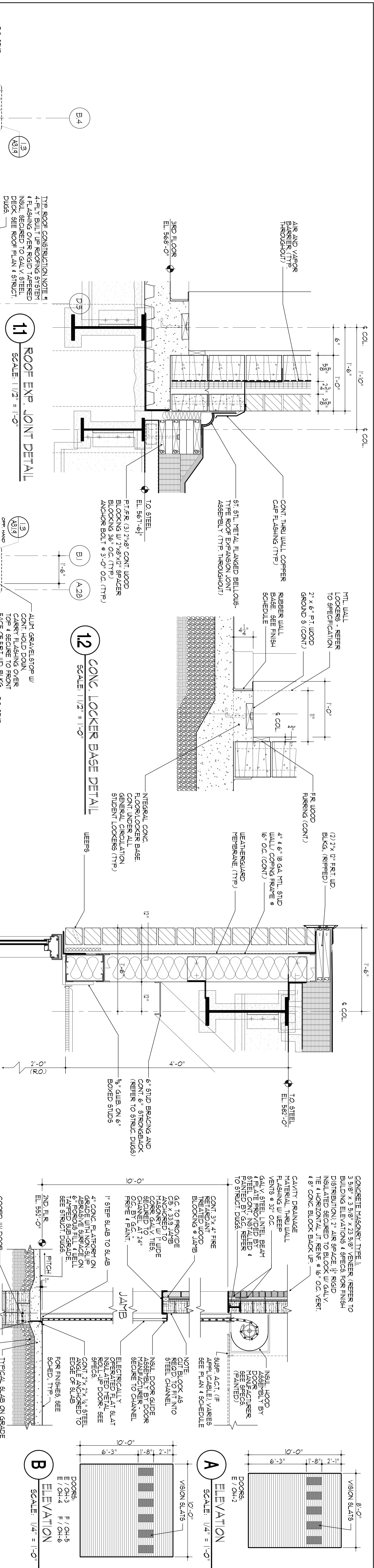
  

DRAWING NO:	<b>A-3-1.3</b>
DRAWN BY:	JAC









**GENERAL NOTES**

- REFER TO STRUCTURAL DRAWINGS FOR ALL LOCATIONS OF BOND BEAMS.
- REFER TO MEP DWGS FOR COORDINATION WITH ALL DUCTWORK, LIGHTS, ETC.
- REFER TO ARCHITECTURAL ELEVATIONS FOR INDIVIDUAL COLOR / BLEND LOCATIONS.

100% NJDCA CONSTRUCTION DOCUMENTS SUBMISSION FOR:

**NEW PHILLIPSBURG HIGH SCHOOL**  
DOE# 4100-N01-04-1000  
SDA# NT-0003-C02

**TOWN OF PHILLIPSBURG**  
UPPER BELVIDERE ROAD LOT 44 / BLOCK 2  
PHILLIPSBURG, NEW JERSEY 08865

**DesignIdeas Group**  
ARCHITECTS & DESIGNERS

**PROJECT #** 2008.936.00

**DATE** 10/27/12

**DRAWING TITLE** WALL SECTIONS

**DRAWING NO.** A-3-1.9

**DRAWN BY** MC

SUBMISSION	DATE
APPENDIX #2 (REVISION)	03-01-13
APPENDIX #1	11-21-12
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NJSDA COMMENTS	03-04-11
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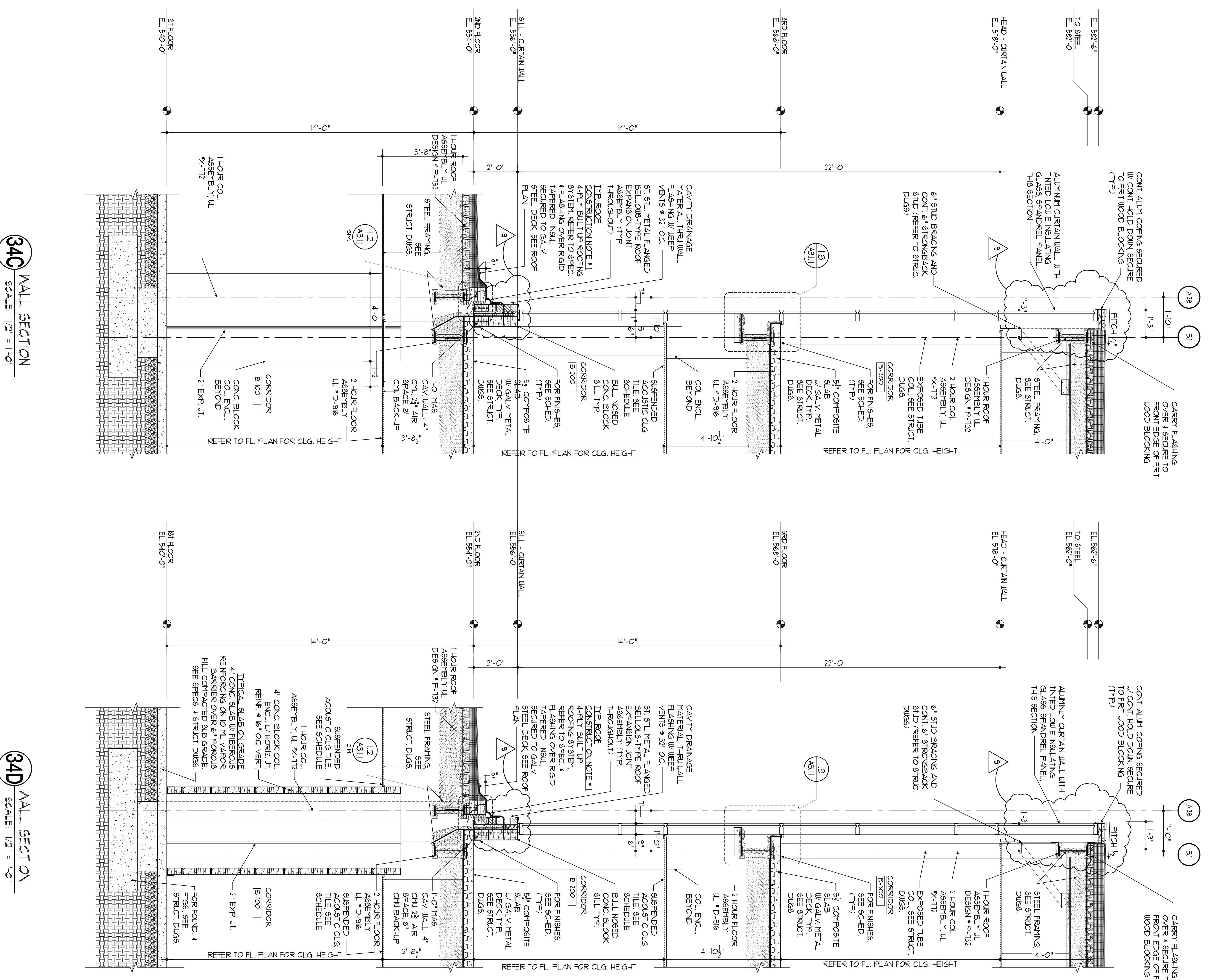
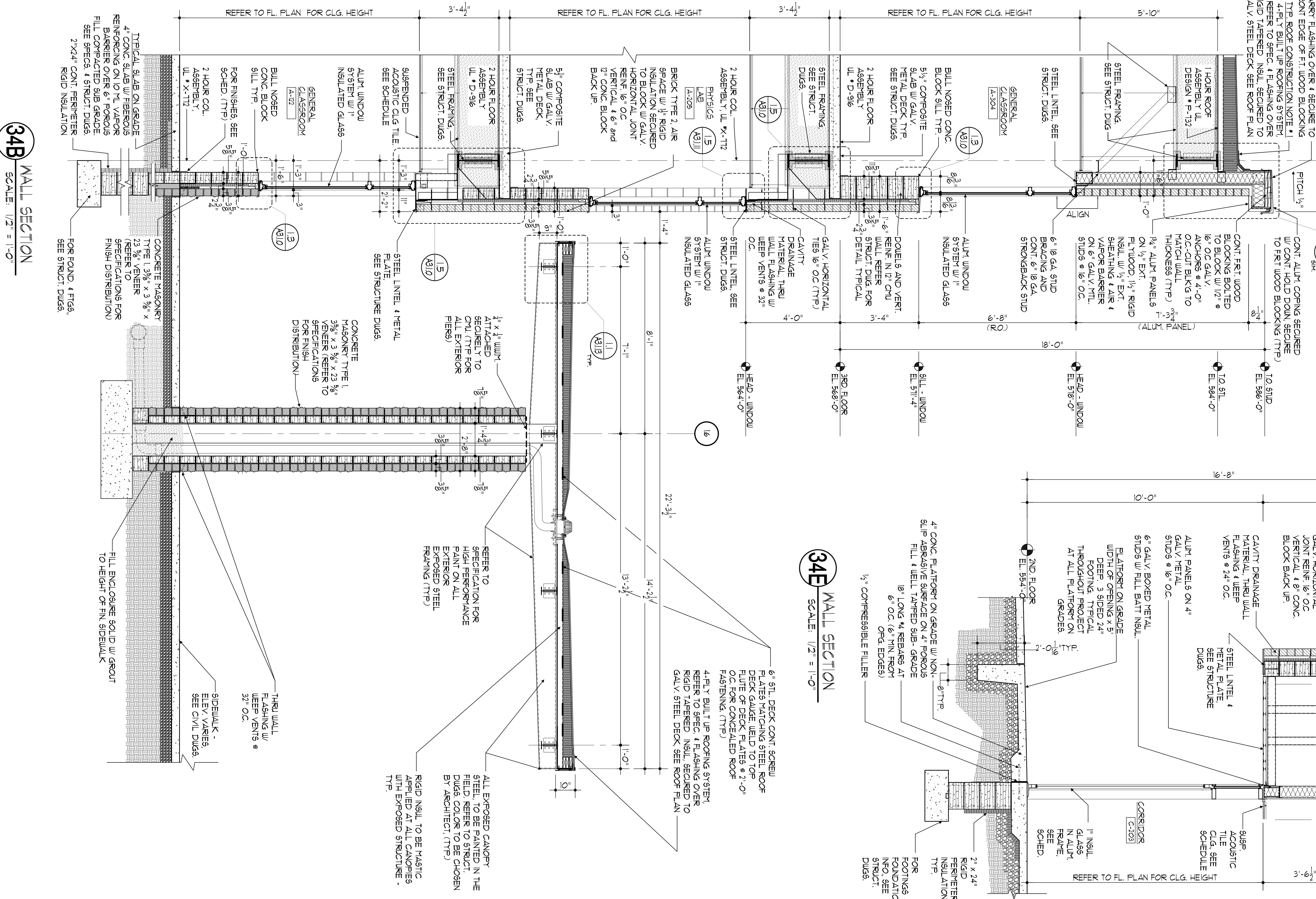








- GENERAL NOTES**
- REFER TO STRUCTURAL DUGS FOR ALL LOCATIONS OF BOND BEAMS.
  - REFER TO MEP DUGS FOR COORDINATION WITH ALL DUCTWORK, LIGHTS, ETC.
  - REFER TO ARCHITECTURAL ELEVATIONS FOR BRICK TYPE 2, INDIVIDUAL COLORS, BLEND LOCATIONS.



<p>100% NJDCA CONSTRUCTION DOCUMENTS SUBMISSION FOR:  <b>NEW PHILLIPSBURG HIGH SCHOOL</b>                  DOE# 4100-N01-04-1000                  SDA# NT-0003-C02</p> <p><b>TOWN OF PHILLIPSBURG</b>                  UPPER BELVIDERE ROAD LOT 44 / BLOCK 2                  PHILLIPSBURG, NEW JERSEY 08865</p>		<p>PROJECT # 2008.956.00</p> <p>DATE: OCTOBER 13, 2009</p> <p>DRAWING TITLE: WALL SECTIONS</p>	<p>DESIGNER: Design Ideas Group</p> <p>ARCHITECT: Design Ideas Group</p>	<p>STATE OF NEW JERSEY</p> <p>N.J. SCHOOL DEVELOPMENT AUTHORITY</p>
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DRAWING NO: **A-3.1.14**  
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NJSDA COMMENTS	02-12-10

SUBMISSION	DATE
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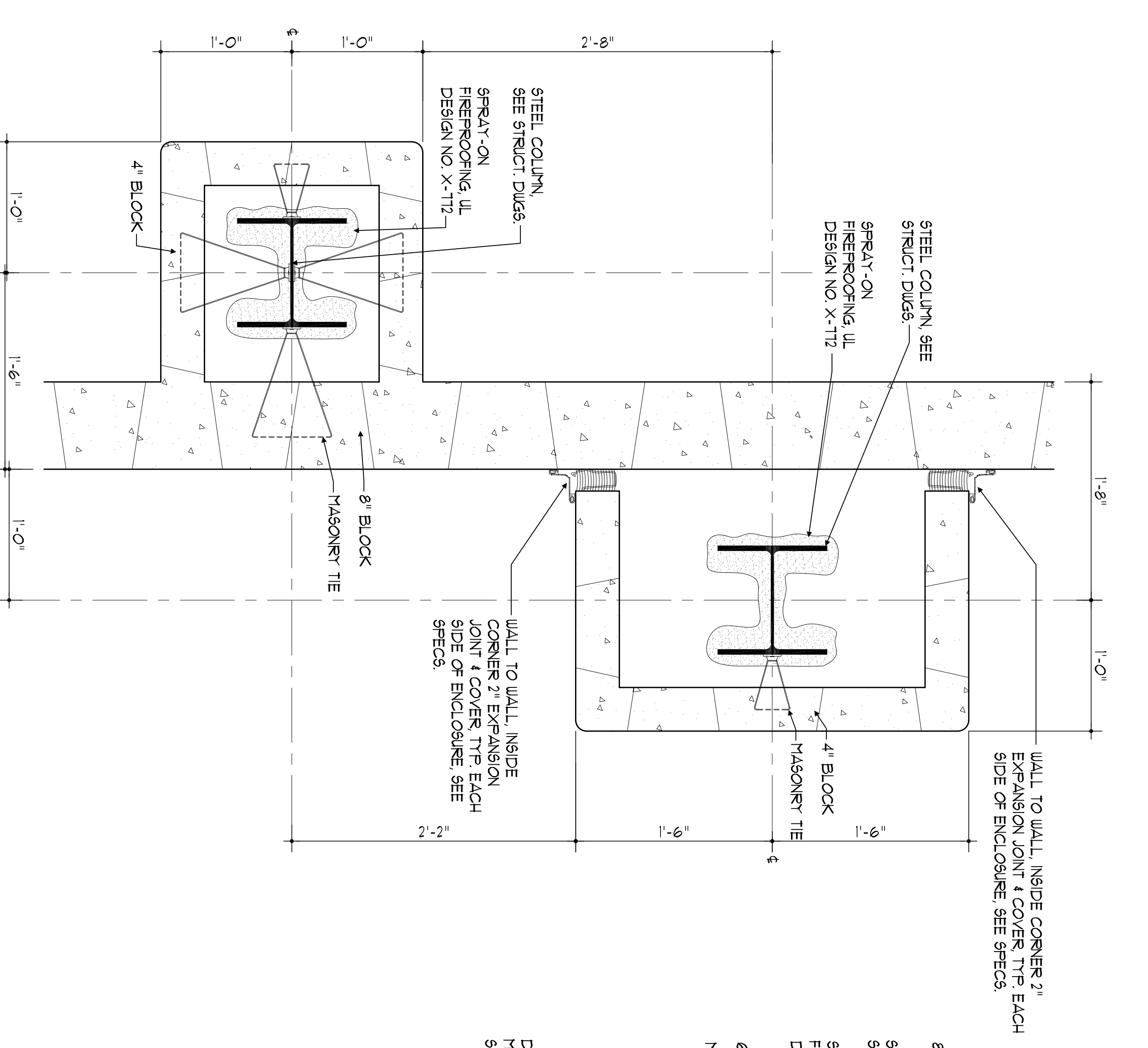




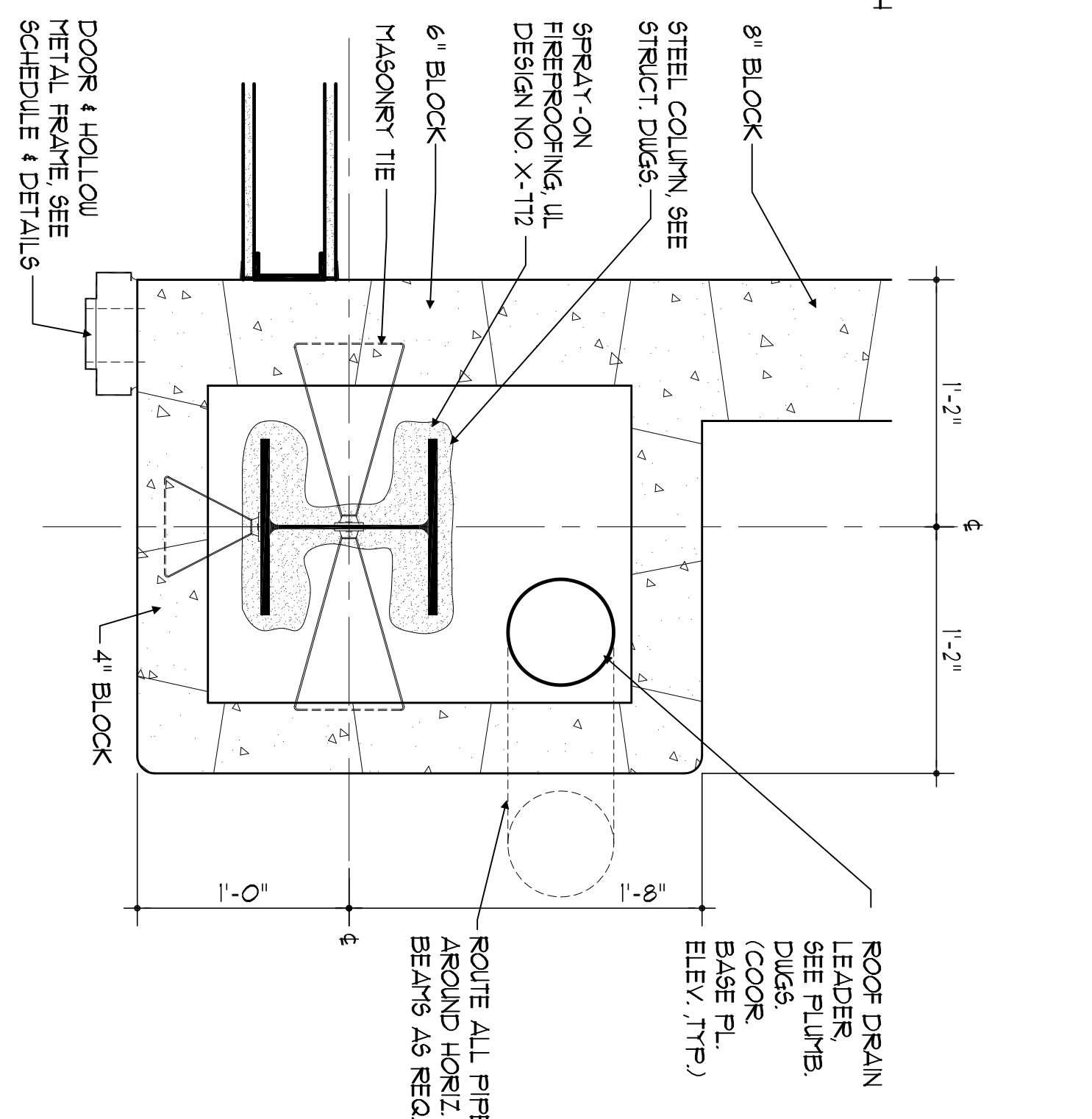




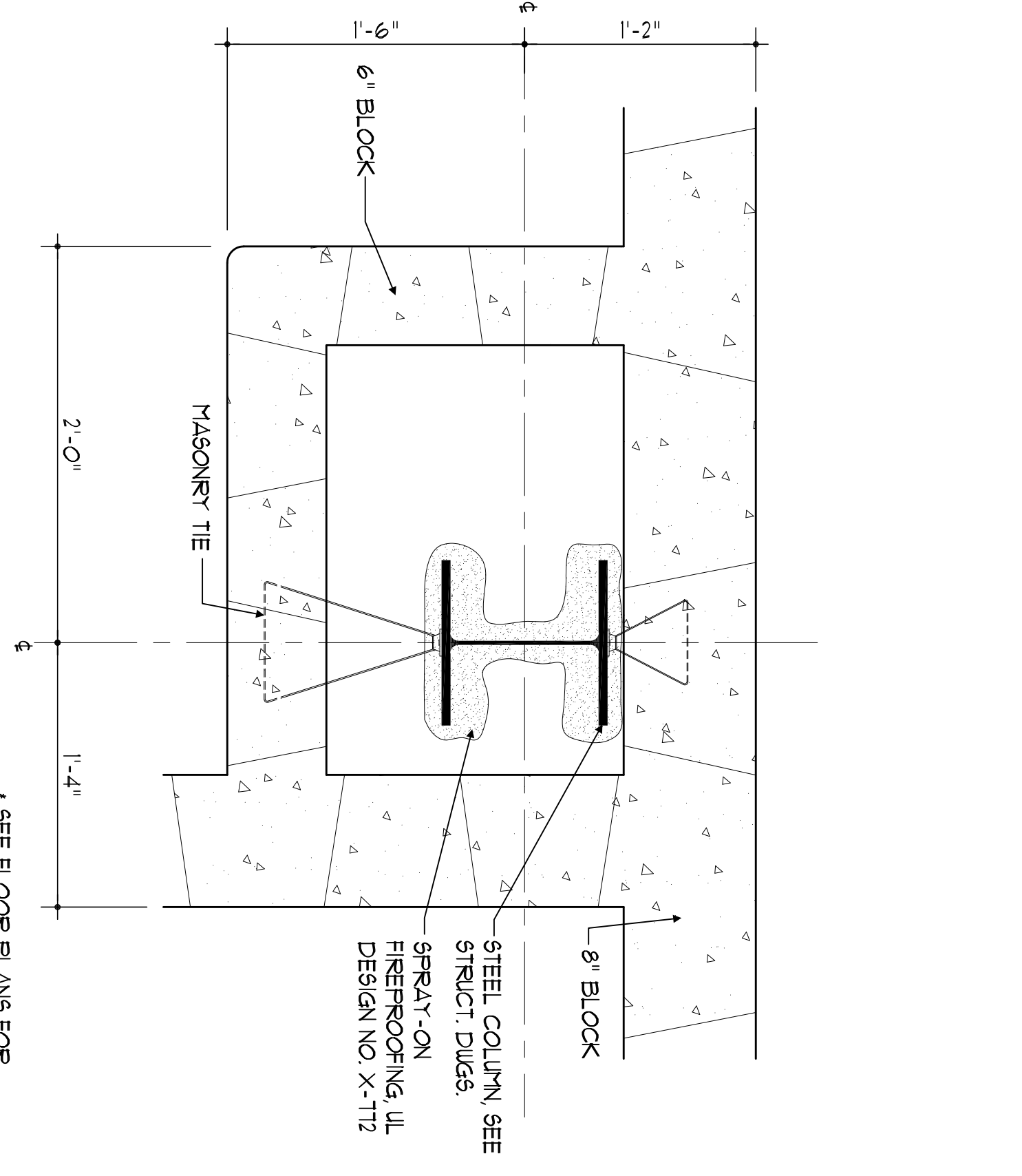




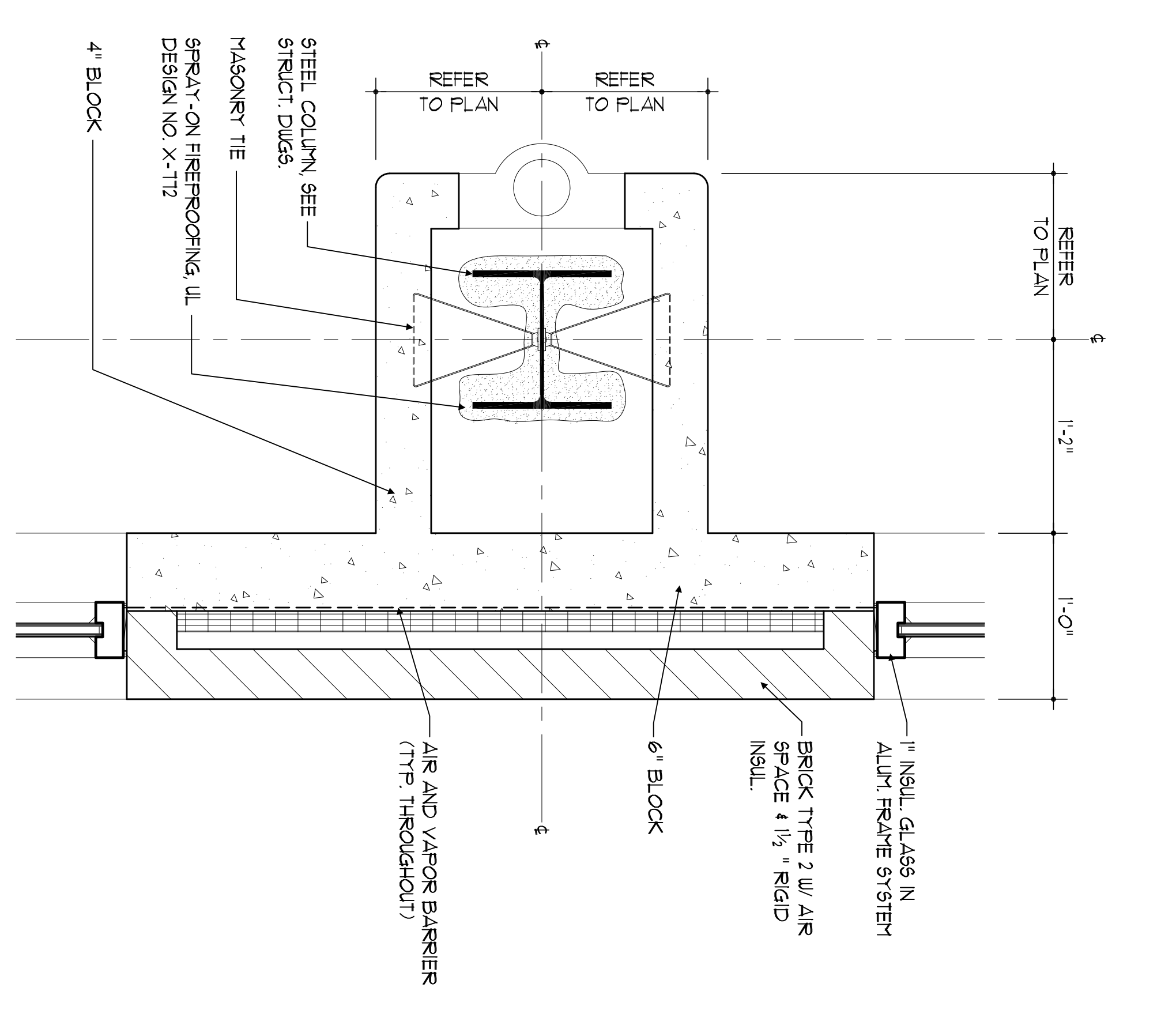
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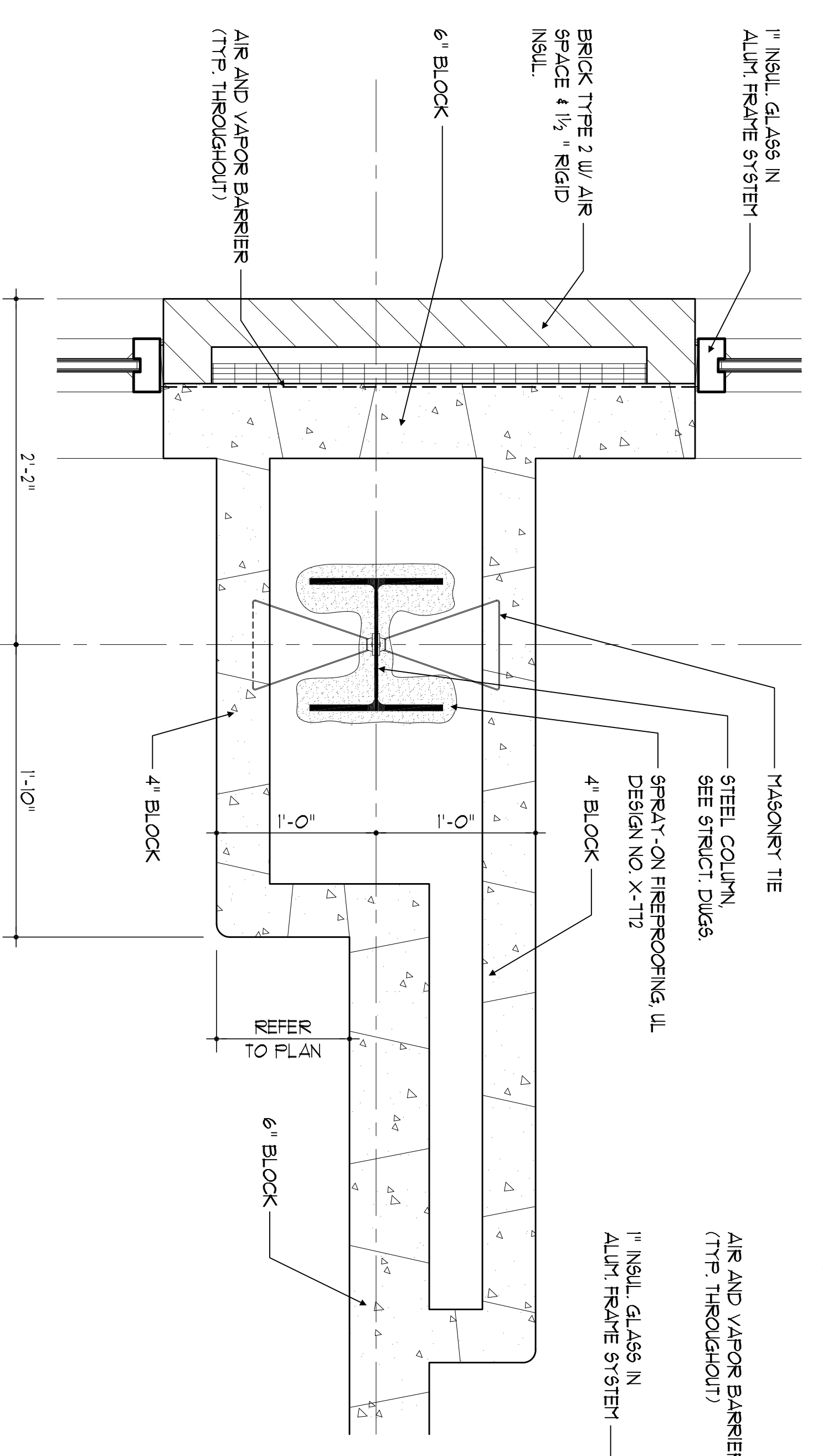
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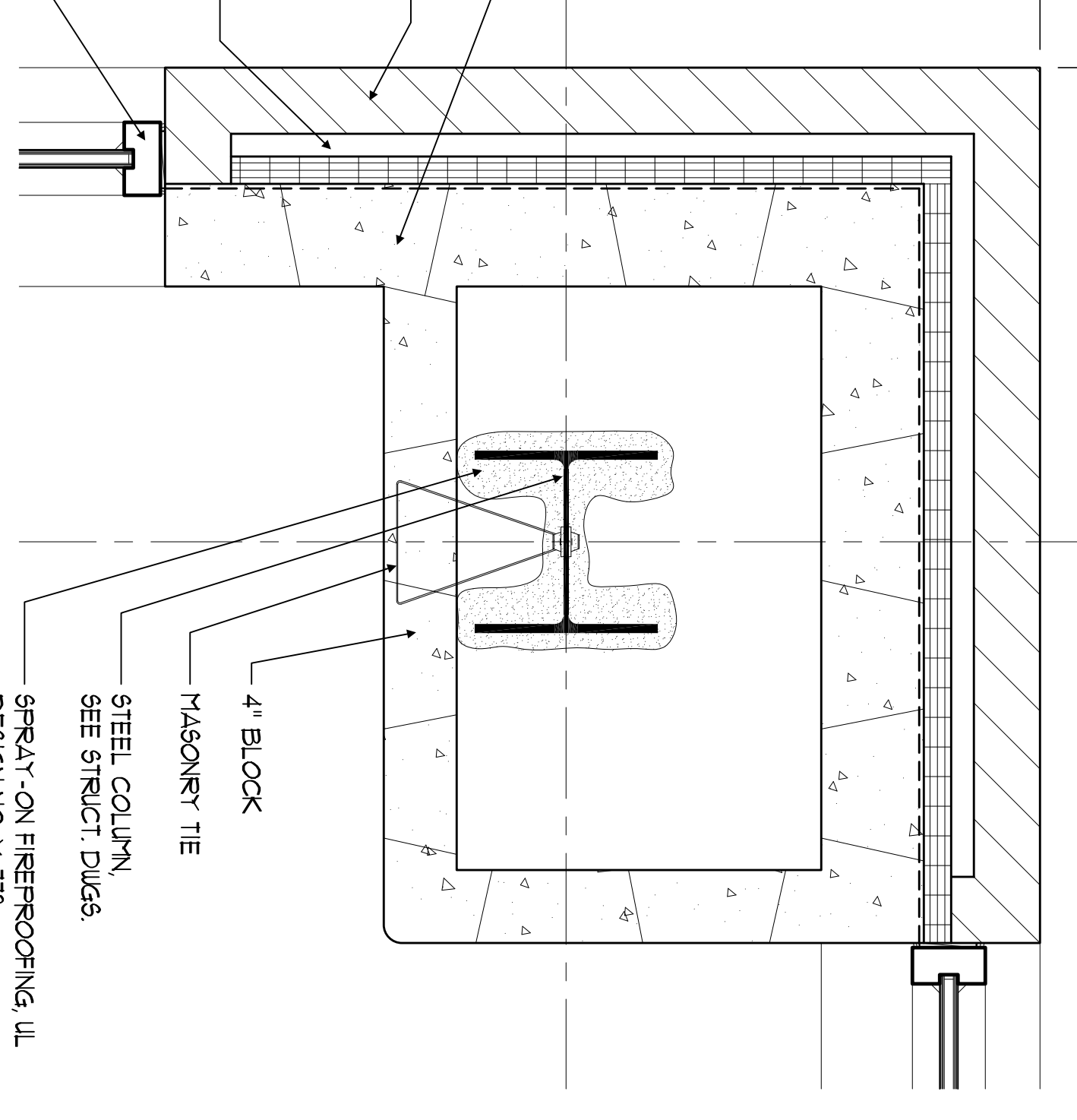
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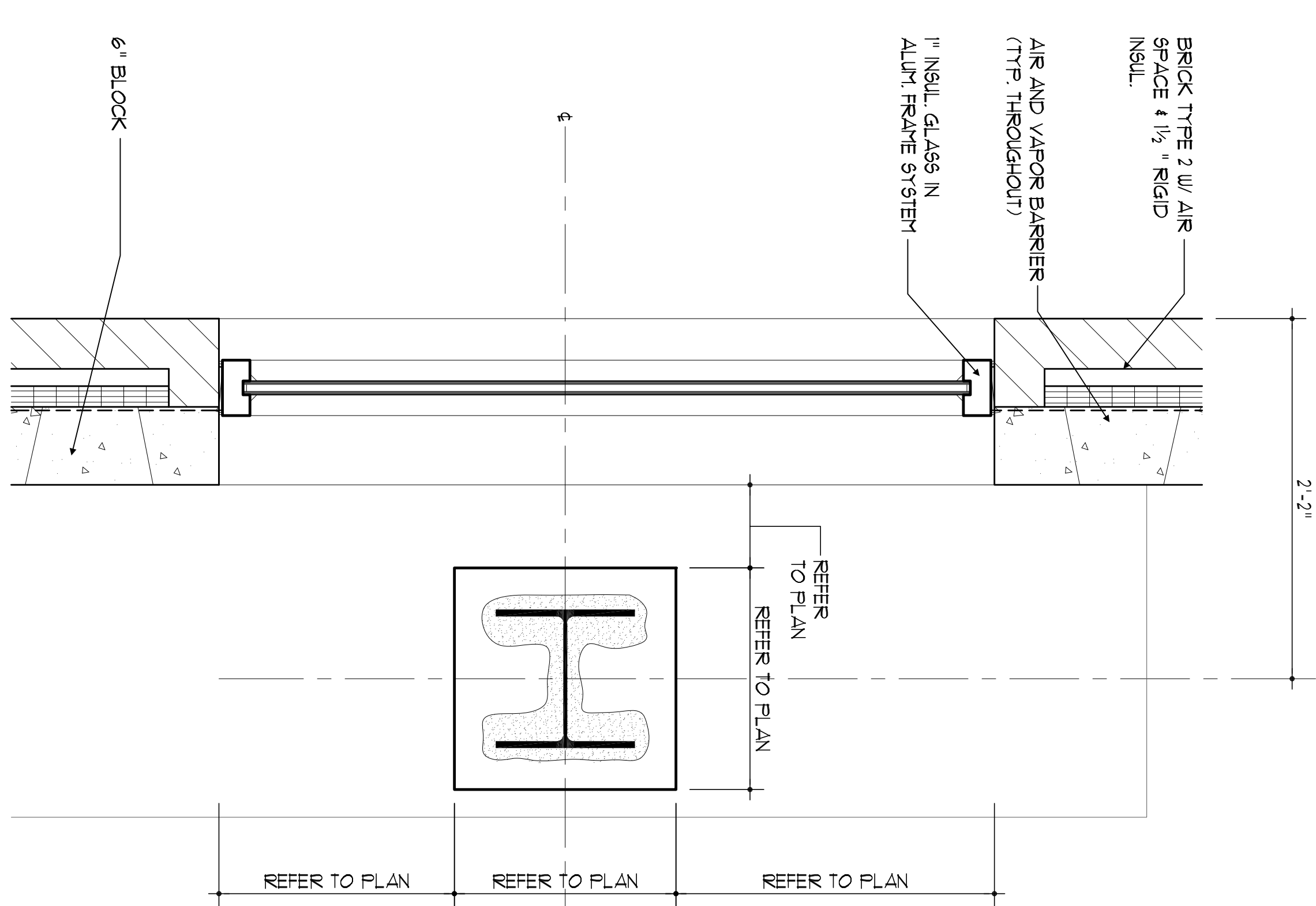
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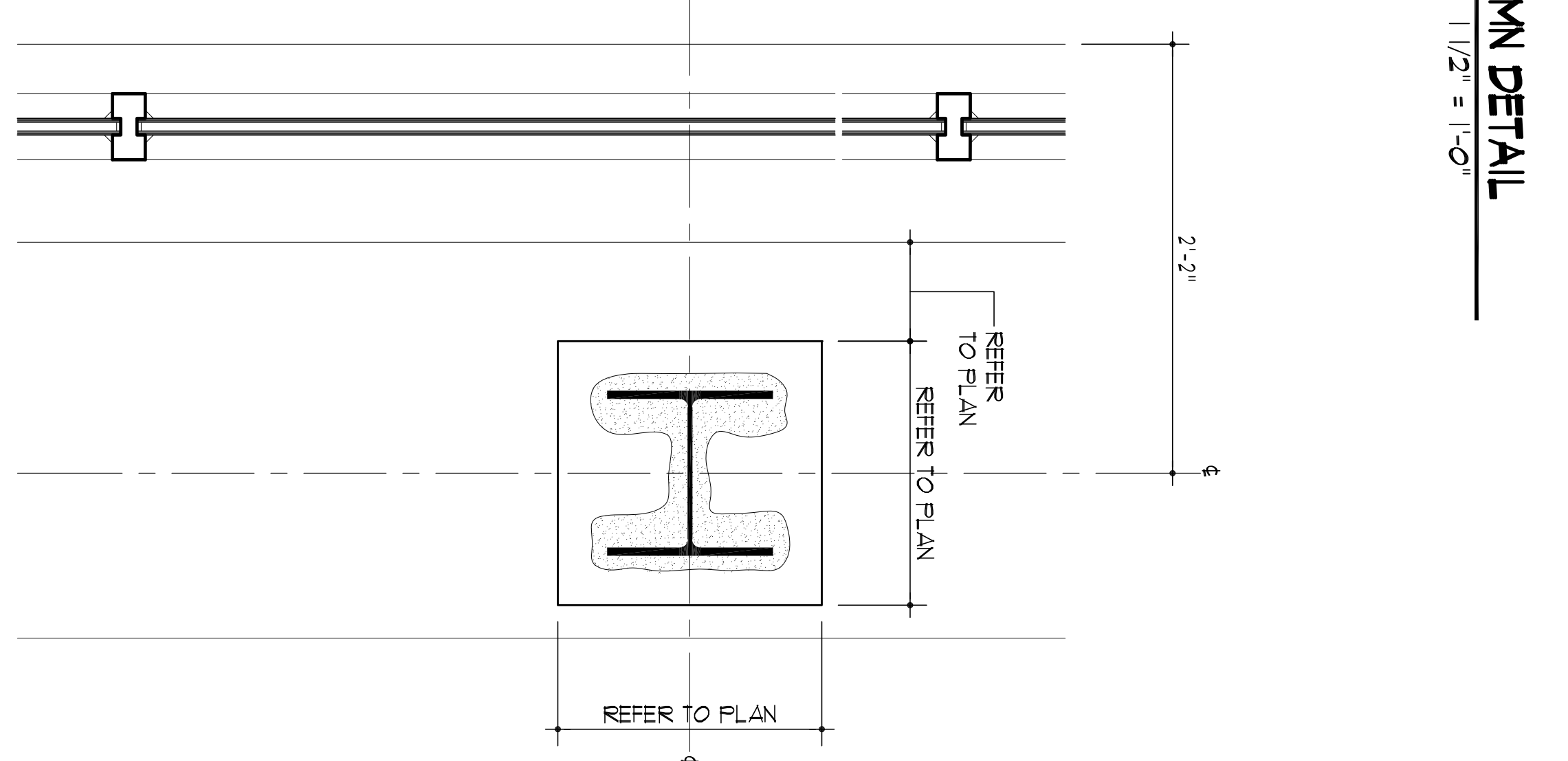
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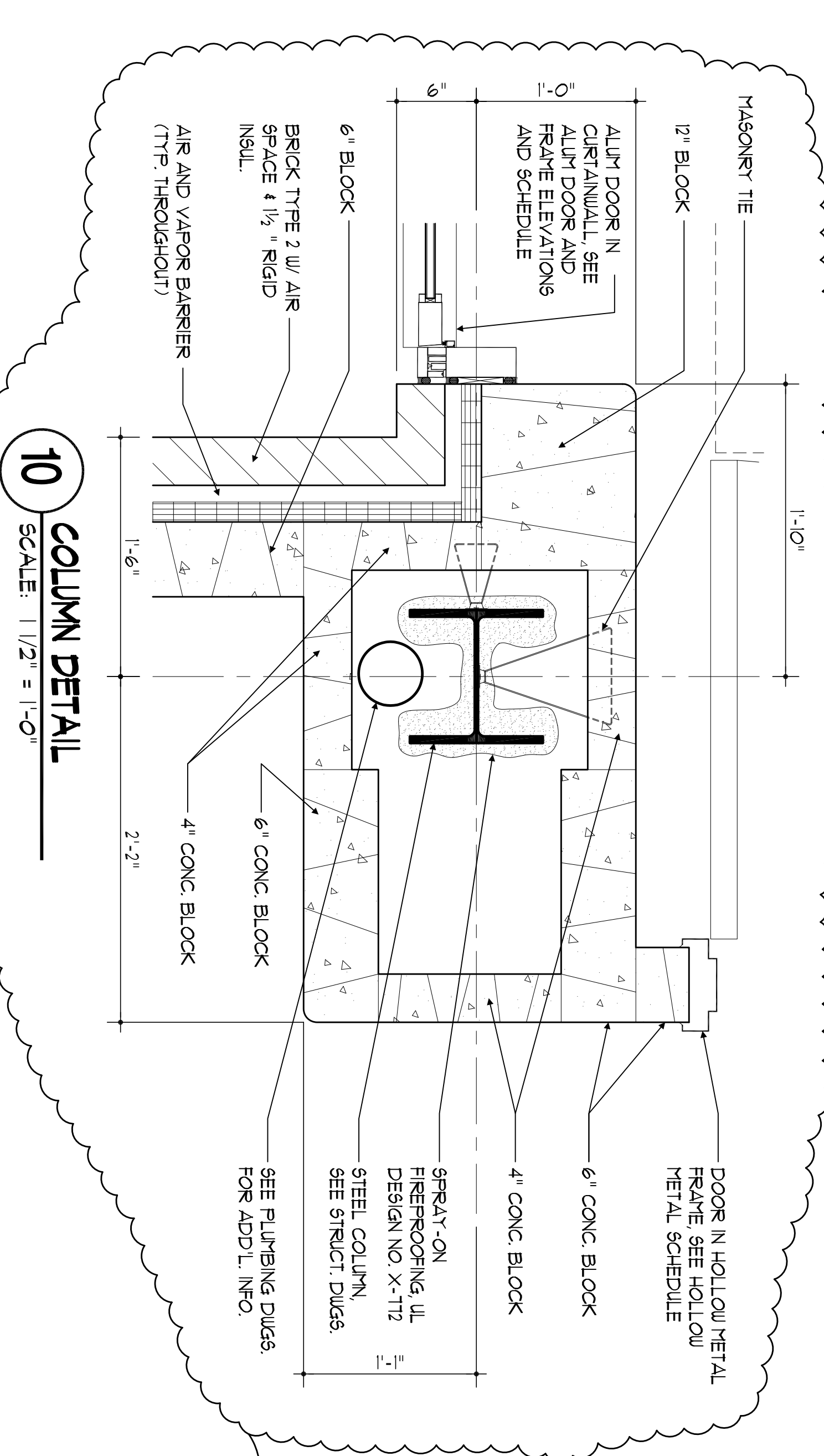
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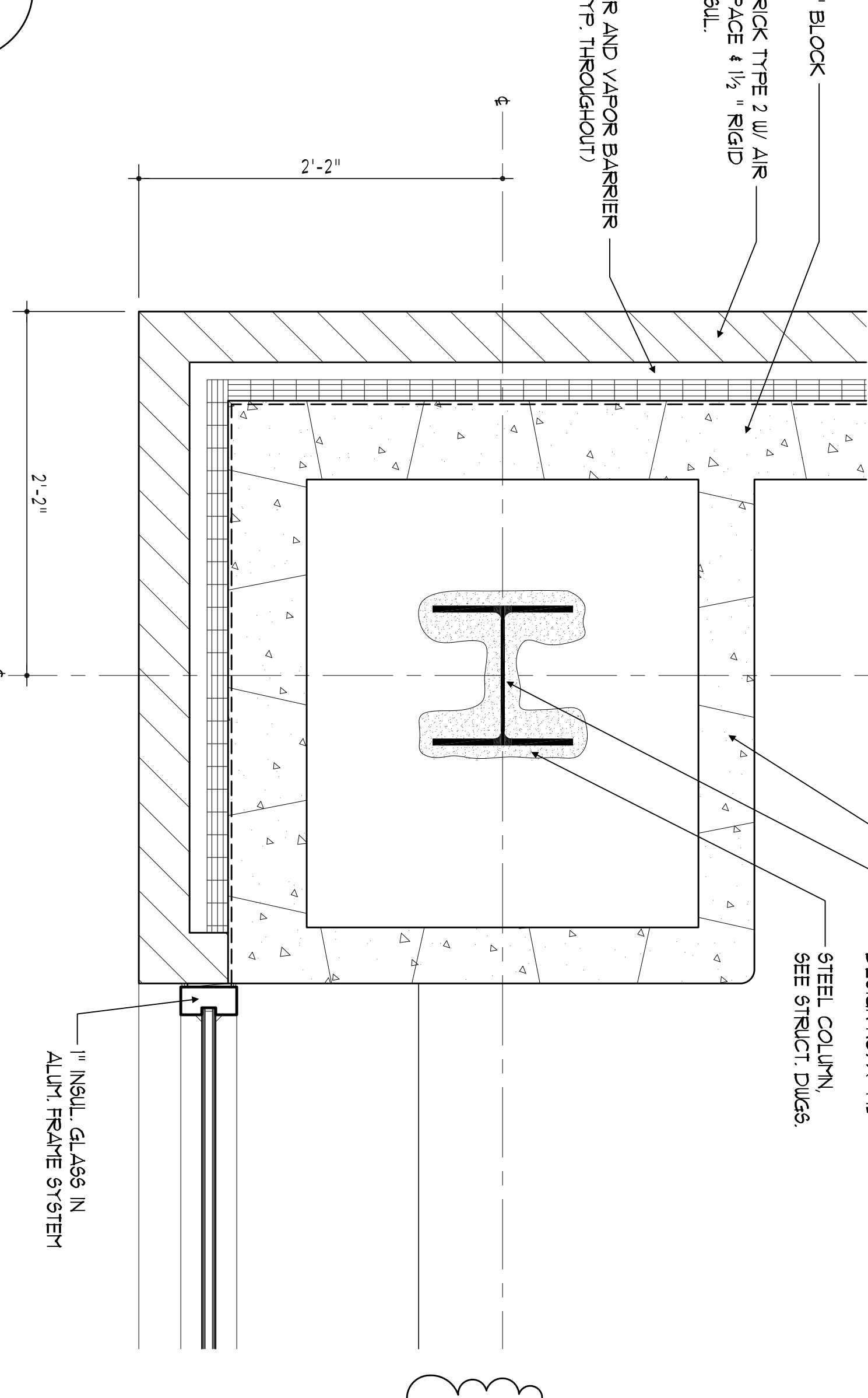
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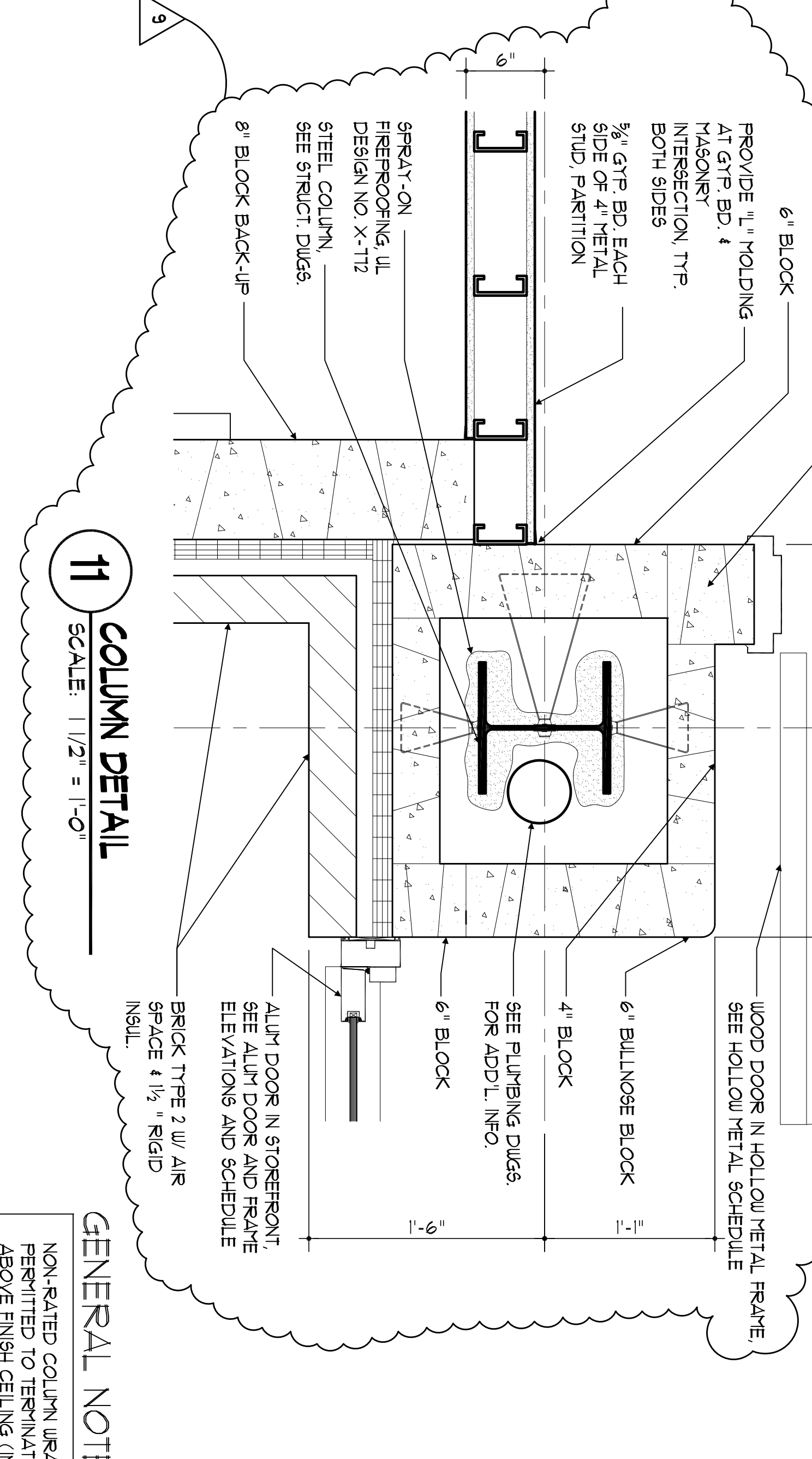
**9 COLUMN DETAIL**  
SCALE: 1/2" = 1'-0"



**10 COLUMN DETAIL**  
SCALE: 1/2" = 1'-0"



**7 COLUMN DETAIL**  
SCALE: 1/2" = 1'-0"



**11 COLUMN DETAIL**  
SCALE: 1/2" = 1'-0"

**GENERAL NOTE:**  
NON-RATED COLUMN UPGRADES ARE PERMITTED TO TERMINATE 8" MIN. ABOVE FINISH CEILING (IN CASE OF UNDER-SIDE OF DECK ABOVE) IN ORDER TO ALLOW FOR PENETRATION OF PIPING, ETC. TO BEND AROUND BEAMS.

<p><b>SDA</b> NJ SCHOOLS DEVELOPMENT AUTHORITY</p>	<p>STATE OF NEW JERSEY</p> <p>LOCAL GOVERNMENT AGENCY</p>	<p>PROJECT # - 2008.9365.00</p>	<p>DESIGNER: <b>Design Ideas Group</b> ARCHITECTURE + DESIGN + ILLUSTRATION</p>	<p>100% NJCA CONSTRUCTION DOCUMENTS SUBMISSION FOR: <b>NEW PHILLIPSBURG HIGH SCHOOL</b> DOE# 4100-N01-04-1000 SDA# NT-0003-C02</p> <p><b>TOWN OF PHILLIPSBURG</b> UPPER BELVIDERE ROAD LOT 44 / BLOCK 2 PHILLIPSBURG, NEW JERSEY 08865</p>	<p>APPENDIX A2 (REVISION) 6/03-01-13 NJSDA REVISIONS 6/03-12-12 NJSDA COMMENTS 03-04-11 NJSDA COMMENTS 03-08-12-10 NJSDA COMMENTS 03-05-17-10 NJSDA COMMENTS 02-12-10 DATE: OCTOBER 13, 2009 SCALE: 1/2" = 1'-0"</p>	<p>DRAWING NO: <b>A6.1.12</b> DRAWN BY:</p>
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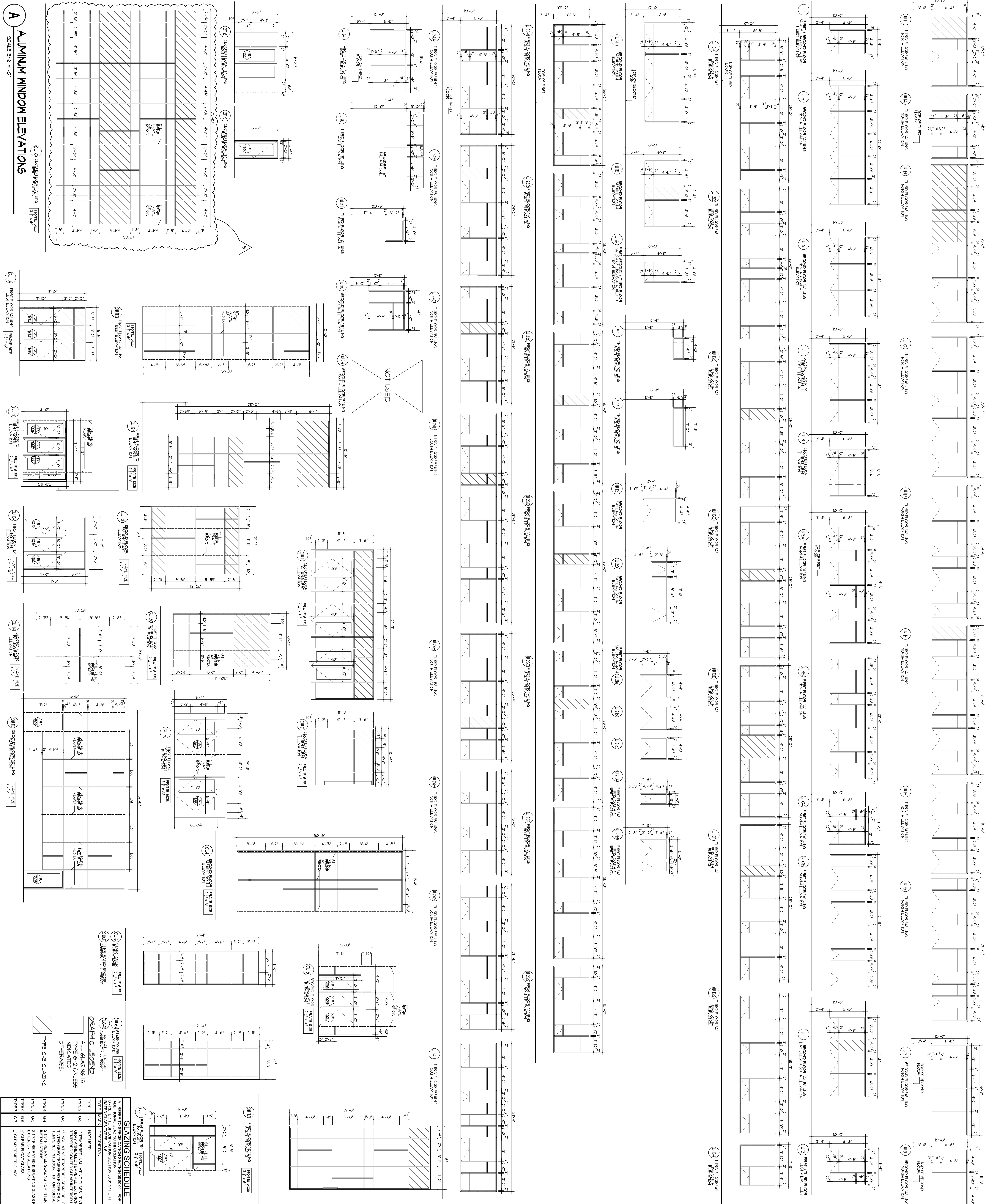






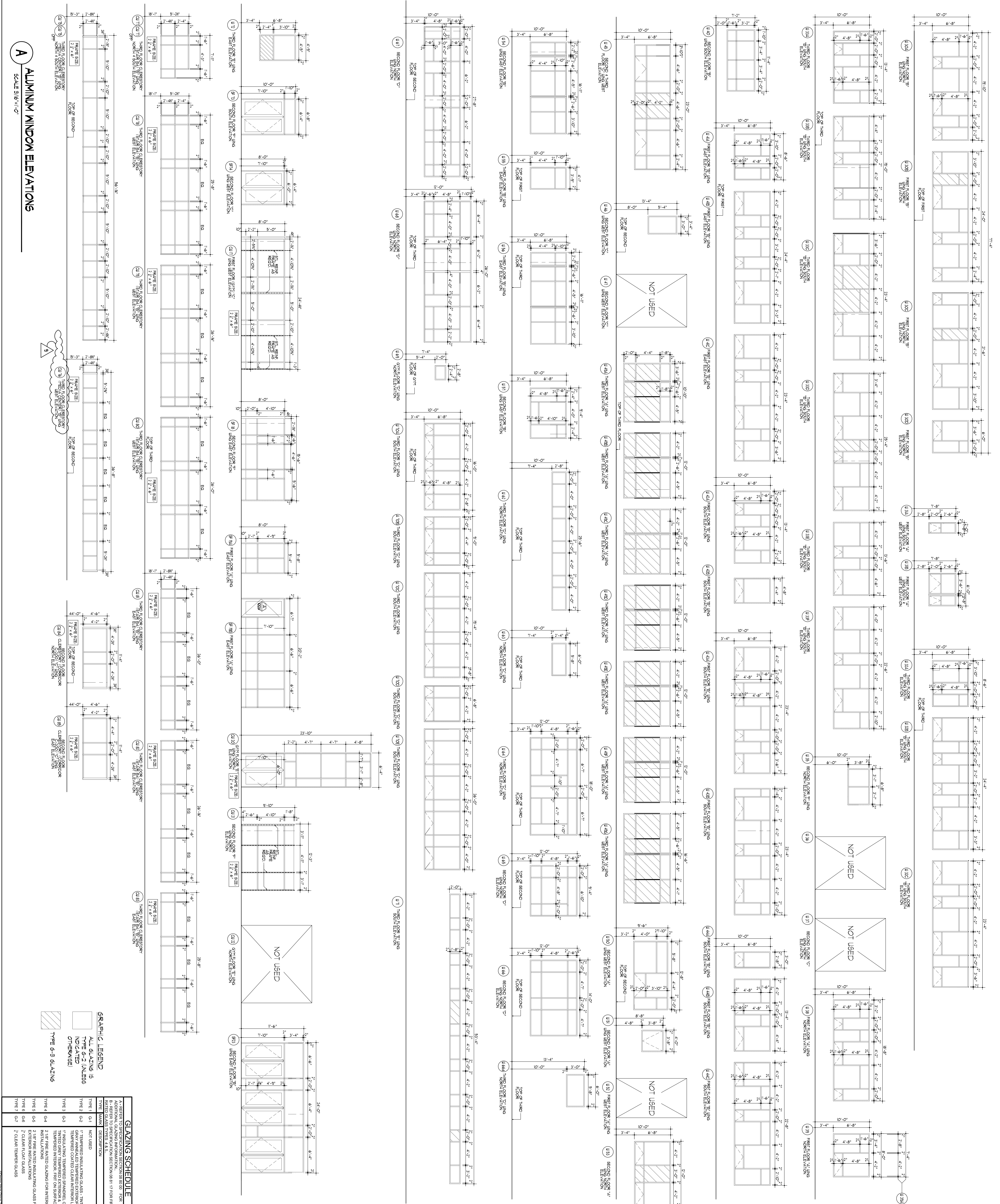


**A**  
ALUMINUM WINDOW ELEVATIONS  
SCALE: 3/16"=1'-0"



<p>100% NJDCA CONSTRUCTION DOCUMENTS SUBMISSION FOR: <b>NEW PHILLIPSBURG HIGH SCHOOL</b> DOE# 4100-N01-04-1000 SDA# NT-0003-C02</p> <p><b>TOWN OF PHILLIPSBURG</b> UPPER BELVIDERE ROAD LOT 44 / BLOCK 2 PHILLIPSBURG, NEW JERSEY 08865</p>		<p><b>SDA</b> NJ SCHOOL DEVELOPMENT AUTHORITY STATE OF NEW JERSEY</p>	<p><b>Design Ideas Group</b> Architects &amp; Planners Inc. 1000 BELVIDERE ROAD PHILLIPSBURG, NJ 08865 TEL: 609.683.1111 WWW.DESIGNIDEASGROUP.COM</p>	<p>PROJECT # 2008.956.00 DATE: OCTOBER 13, 2009 DRAWING TITLE: ALUMINUM WINDOW FRAME ELEVATIONS DRAWING NO: A-8.2.1 DRAWN BY: [Name]</p>
<p>SUBMISSION DATE</p>	<p>APPENDIX #2 (READ) 03-01-13 APPENDIX #1 11-21-12 NJSDA REVISIONS 09-12-12 NJDCA COMMENTS 03-04-11 NJDCA COMMENTS 03-08-12-10 NJDCA COMMENTS 02-12-10 NJDCA COMMENTS 10-21-10 DATE: OCTOBER 13, 2009 SCALE: AS NOTED</p>	<p>GLAZING SCHEDULE</p> <p>A - REFER TO SPECIFICATION SECTION 09 50 00 FOR ADDITIONAL GLAZING INFORMATION. RATED GLASS TYPES 4 &amp; 8 SECTION 09 51 11 FOR FINE GLASS TYPES 1, 2, 3, 5, 6, 7, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100.</p>	<p>REVISIONS</p> <p>1. [Description]</p> <p>2. [Description]</p> <p>3. [Description]</p> <p>4. [Description]</p> <p>5. [Description]</p> <p>6. [Description]</p> <p>7. [Description]</p> <p>8. [Description]</p> <p>9. [Description]</p> <p>10. [Description]</p> <p>11. [Description]</p> <p>12. [Description]</p> <p>13. [Description]</p> <p>14. [Description]</p> <p>15. [Description]</p> <p>16. [Description]</p> <p>17. [Description]</p> <p>18. [Description]</p> <p>19. [Description]</p> <p>20. [Description]</p> <p>21. [Description]</p> <p>22. [Description]</p> <p>23. [Description]</p> <p>24. [Description]</p> <p>25. [Description]</p> <p>26. [Description]</p> <p>27. [Description]</p> <p>28. [Description]</p> <p>29. [Description]</p> <p>30. [Description]</p> <p>31. [Description]</p> <p>32. [Description]</p> <p>33. [Description]</p> <p>34. [Description]</p> <p>35. [Description]</p> <p>36. [Description]</p> <p>37. [Description]</p> <p>38. [Description]</p> <p>39. [Description]</p> <p>40. [Description]</p> <p>41. [Description]</p> <p>42. [Description]</p> <p>43. [Description]</p> <p>44. [Description]</p> <p>45. [Description]</p> <p>46. [Description]</p> <p>47. [Description]</p> <p>48. [Description]</p> <p>49. [Description]</p> <p>50. [Description]</p> <p>51. [Description]</p> <p>52. [Description]</p> <p>53. [Description]</p> <p>54. [Description]</p> <p>55. [Description]</p> <p>56. [Description]</p> <p>57. [Description]</p> <p>58. [Description]</p> <p>59. [Description]</p> <p>60. [Description]</p> <p>61. [Description]</p> <p>62. [Description]</p> <p>63. [Description]</p> <p>64. [Description]</p> <p>65. [Description]</p> <p>66. [Description]</p> <p>67. [Description]</p> <p>68. [Description]</p> <p>69. [Description]</p> <p>70. [Description]</p> <p>71. [Description]</p> <p>72. [Description]</p> <p>73. [Description]</p> <p>74. [Description]</p> <p>75. [Description]</p> <p>76. [Description]</p> <p>77. [Description]</p> <p>78. [Description]</p> <p>79. [Description]</p> <p>80. [Description]</p> <p>81. [Description]</p> <p>82. [Description]</p> <p>83. [Description]</p> <p>84. [Description]</p> <p>85. [Description]</p> <p>86. [Description]</p> <p>87. [Description]</p> <p>88. [Description]</p> <p>89. [Description]</p> <p>90. [Description]</p> <p>91. [Description]</p> <p>92. [Description]</p> <p>93. [Description]</p> <p>94. [Description]</p> <p>95. [Description]</p> <p>96. [Description]</p> <p>97. [Description]</p> <p>98. [Description]</p> <p>99. [Description]</p> <p>100. [Description]</p>	





**GLAZING SCHEDULE**

TYPE	DESCRIPTION
TYPE 1	NOT USED
TYPE 2	GRAY ANNEALED THERMOPLASTIC GLASS - TINTED
TYPE 3	TINTED CLEAR THERMOPLASTIC GLASS
TYPE 4	THERMOPLASTIC GLASS FOR INTERIOR
TYPE 5	2 1/2" THERMOPLASTIC GLASS FOR INTERIOR
TYPE 6	2 1/2" THERMOPLASTIC GLASS FOR INTERIOR
TYPE 7	2" CLEAR THERMOPLASTIC GLASS

**GRAPHIC LEGEND**

ALL GLAZING IS TYPE G-2 (UNLESS INDICATED OTHERWISE)

TYPE G-3 GLAZING

**GLAZING SCHEDULE**

TYPE	DESCRIPTION
TYPE 1	NOT USED
TYPE 2	GRAY ANNEALED THERMOPLASTIC GLASS - TINTED
TYPE 3	TINTED CLEAR THERMOPLASTIC GLASS
TYPE 4	THERMOPLASTIC GLASS FOR INTERIOR
TYPE 5	2 1/2" THERMOPLASTIC GLASS FOR INTERIOR
TYPE 6	2 1/2" THERMOPLASTIC GLASS FOR INTERIOR
TYPE 7	2" CLEAR THERMOPLASTIC GLASS

100% NJDCA CONSTRUCTION DOCUMENTS SUBMISSION FOR:  
**NEW PHILLIPSBURG HIGH SCHOOL**  
 DOE# 4100-N01-04-1000  
 SDA# NT-0003-C02  
**TOWN OF PHILLIPSBURG**  
 UPPER BELVIDERE ROAD LOT 44 / BLOCK 2  
 PHILLIPSBURG, NEW JERSEY 08865

SUBMISSION	DATE
APPENDIX #2 (REVISION)	03-01-13
APPENDIX #1	11-21-12
NJSDA REVISIONS	09-12-12
NJSDA COMMENTS	03-04-11
NJSDA COMMENTS	08-12-10
NJSDA COMMENTS	05-17-10
NJSDA COMMENTS	02-12-10
DATE:	OCTOBER 13, 2009
SCALE:	AS NOTED
DRAWING TITLE:	ALUMINUM WINDOW FRAME ELEVATIONS
DRAWING NO.:	A-8.2.2
DRAWN BY:	

PROJECT # 2008.956.00

ARCHITECT: **Design Ideas Group**  
 ARCHITECTS & DESIGNERS LLC

PHILLIPSBURG, NJ 08865

OWNER: TOWN OF PHILLIPSBURG  
 100 BELVIDERE ROAD  
 PHILLIPSBURG, NJ 08865

**SDA**  
 NJ SCHOOL DEVELOPMENT AUTHORITY  
 STATE OF NEW JERSEY

FORMER INDEPENDENT SCHOOLS



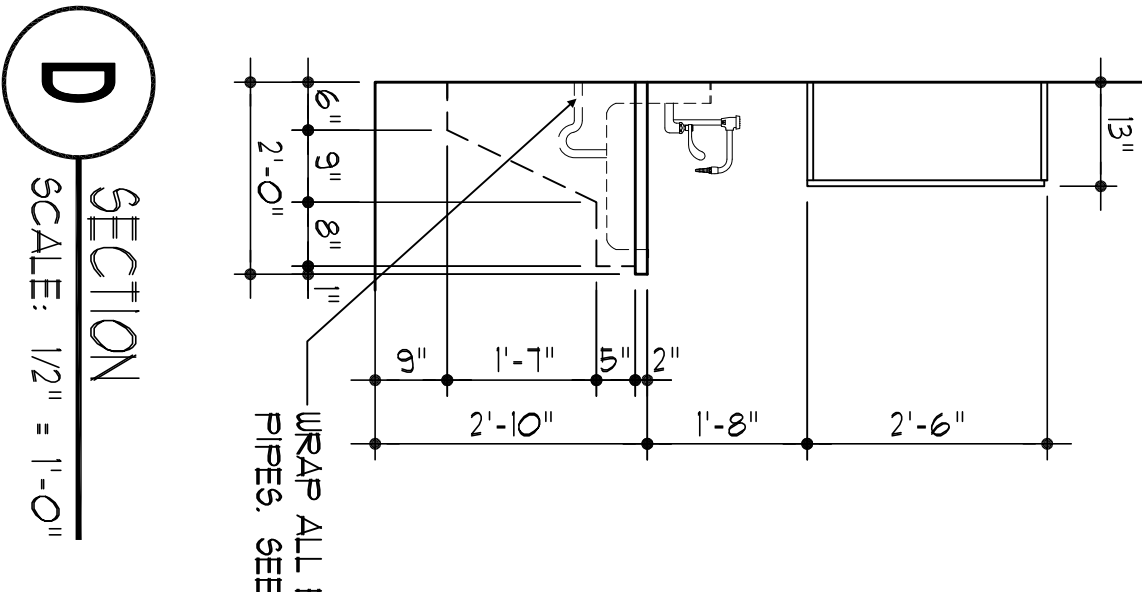
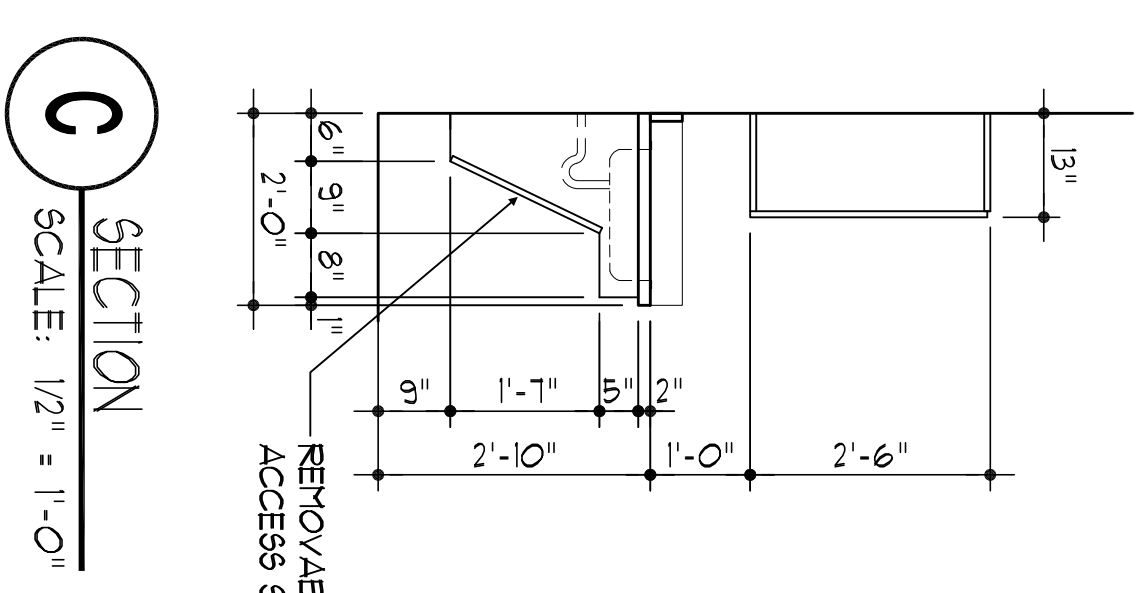
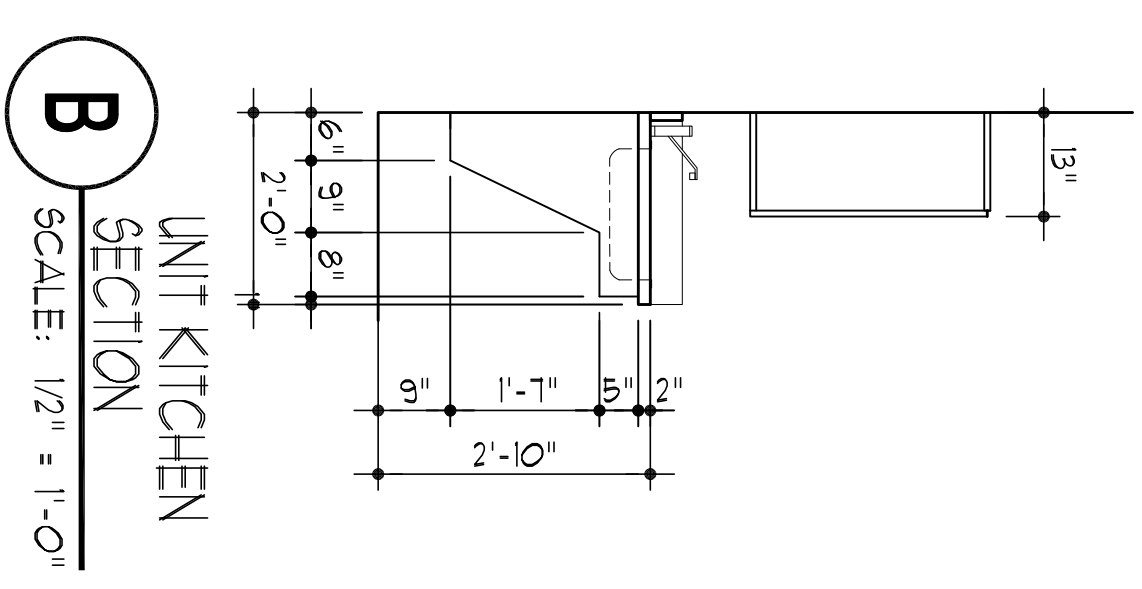
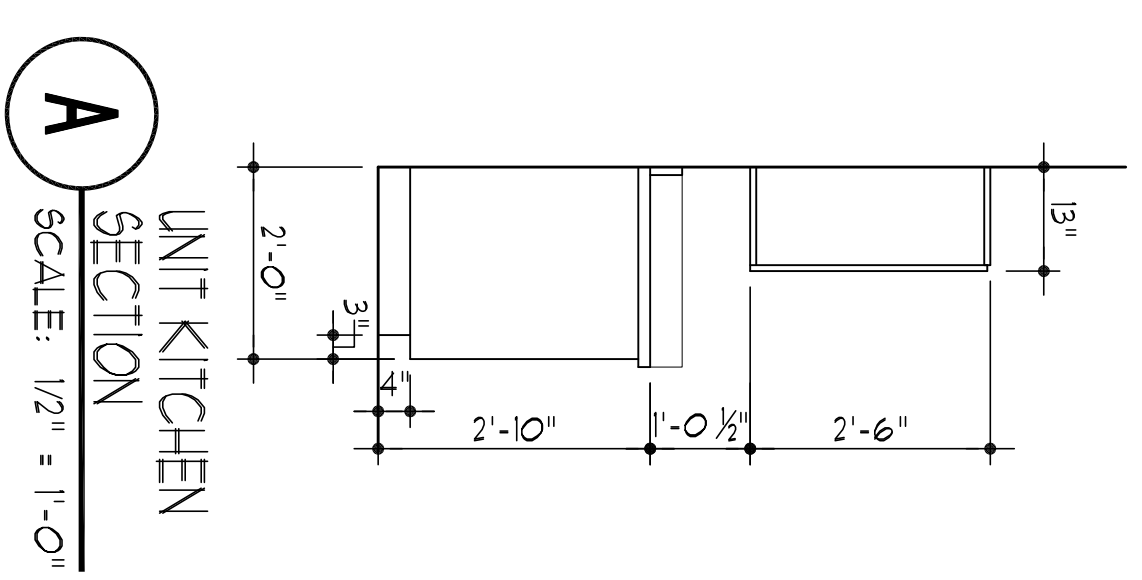
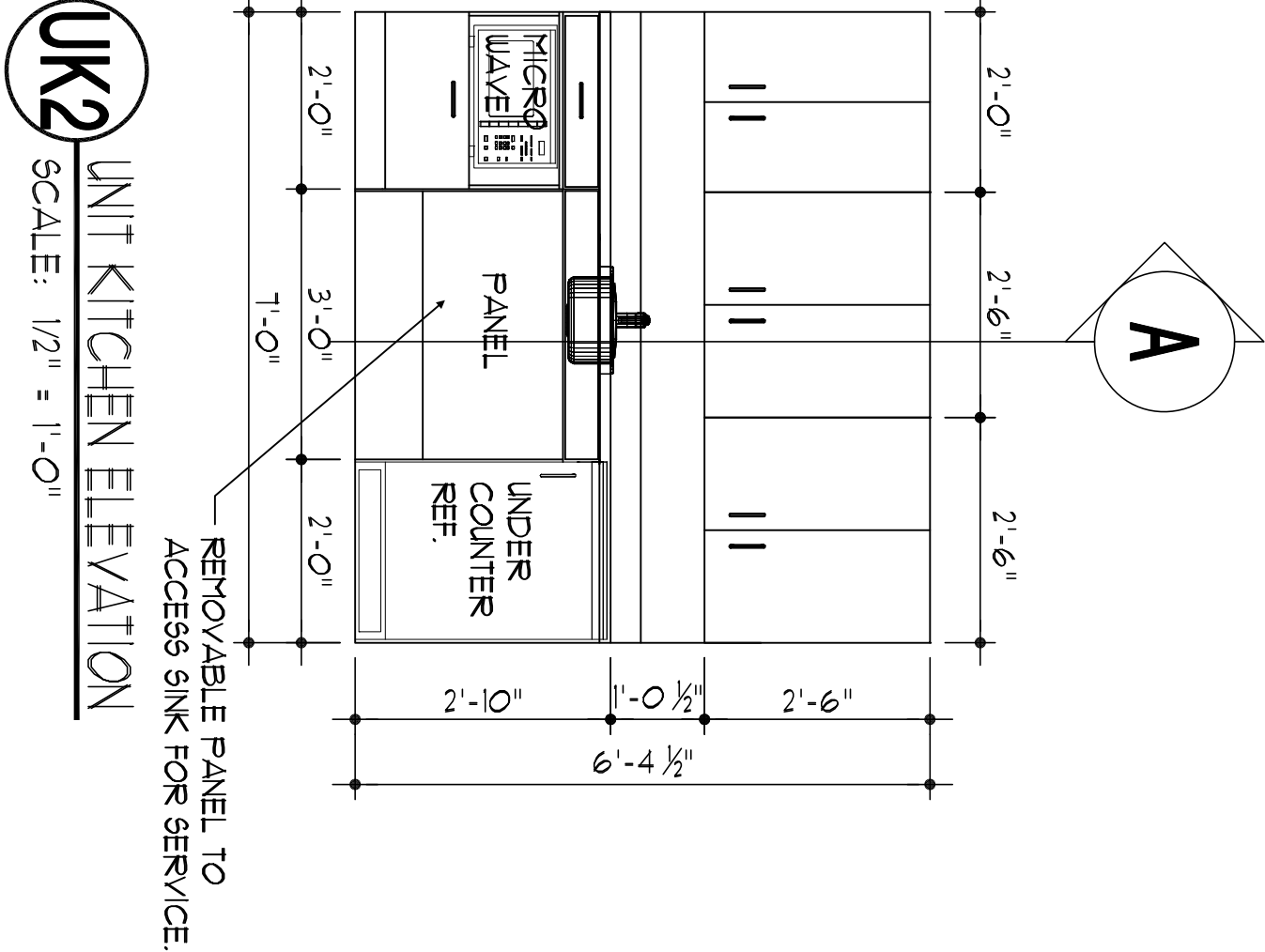
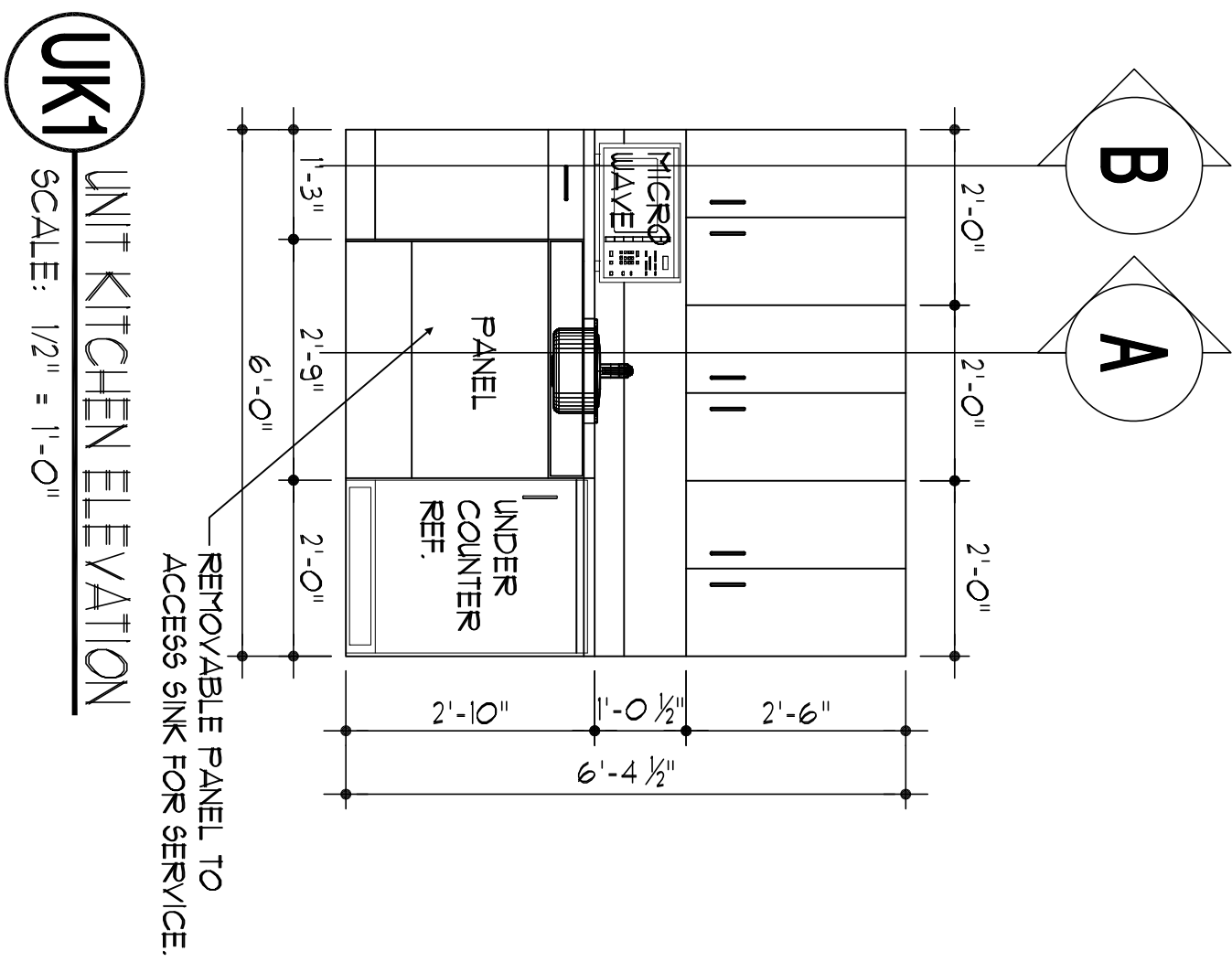
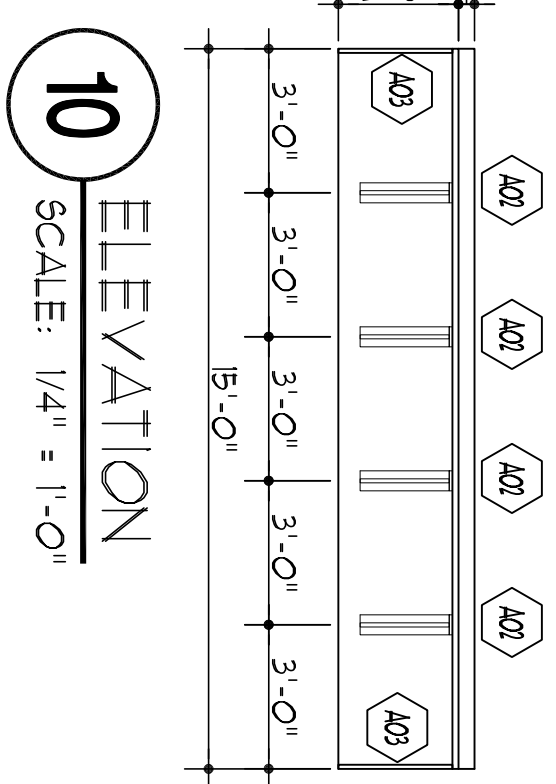
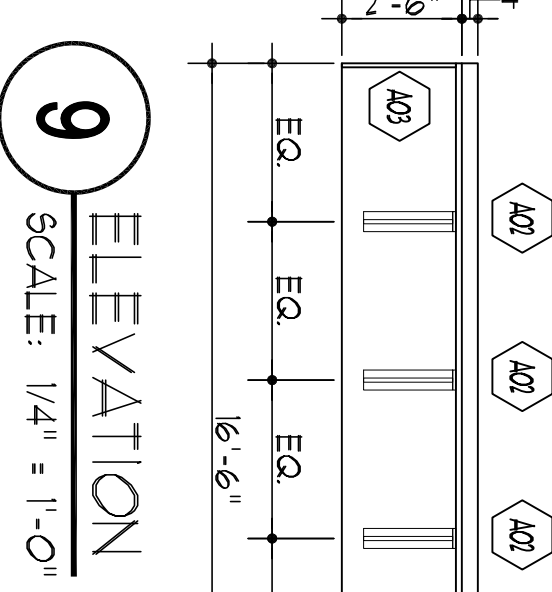
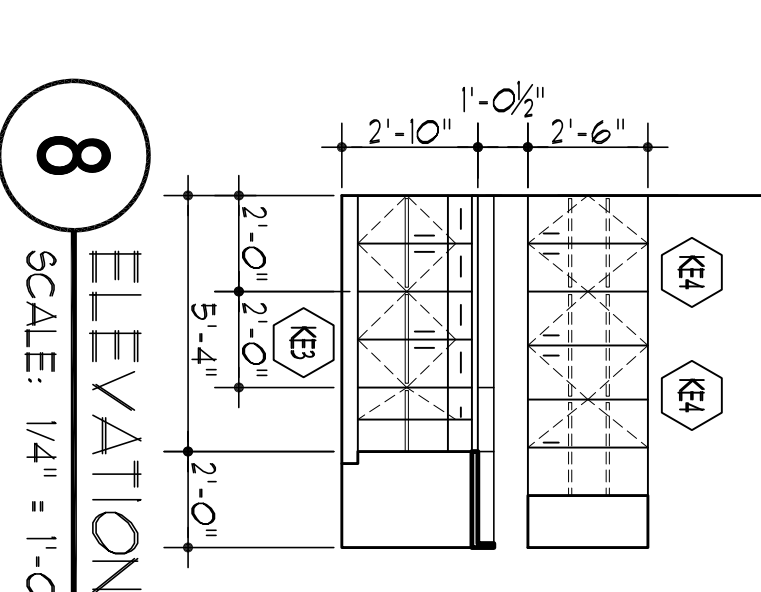
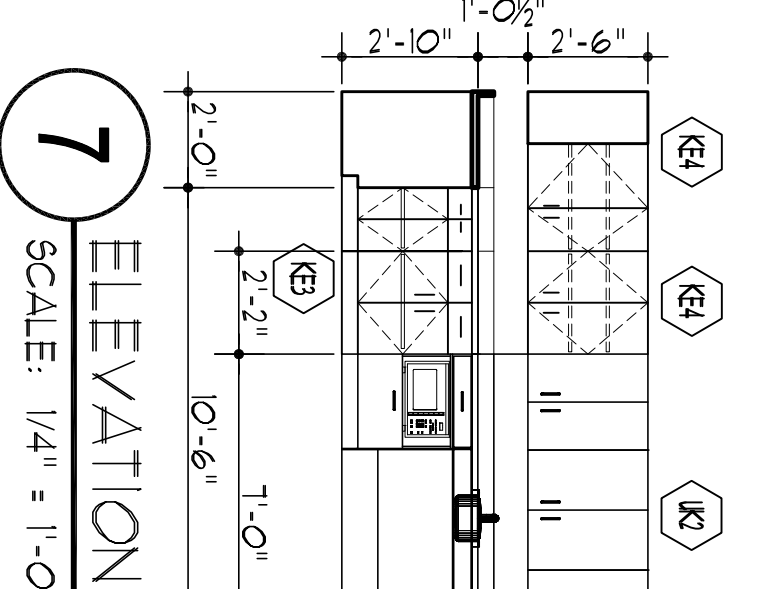
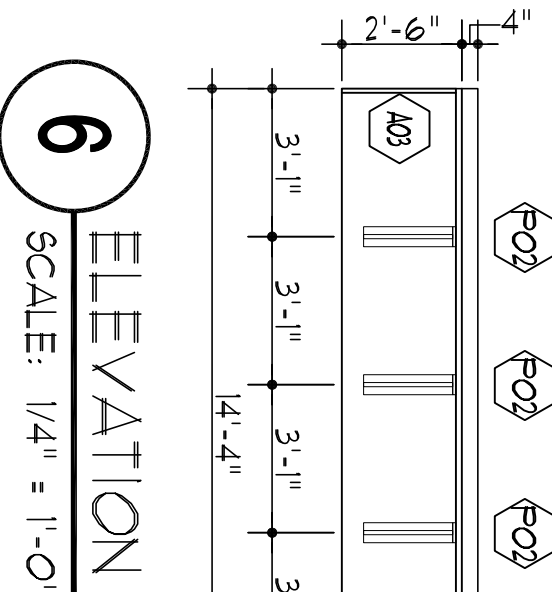
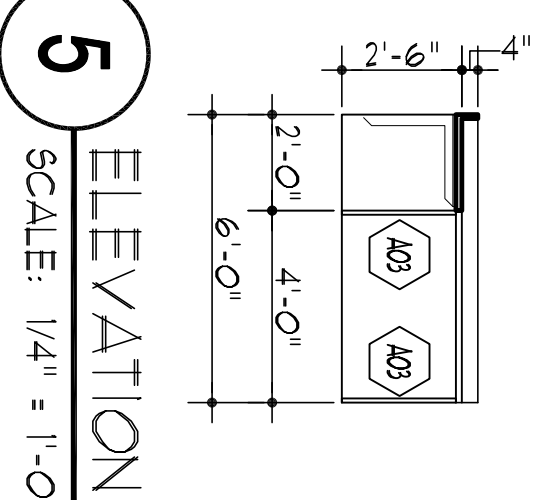
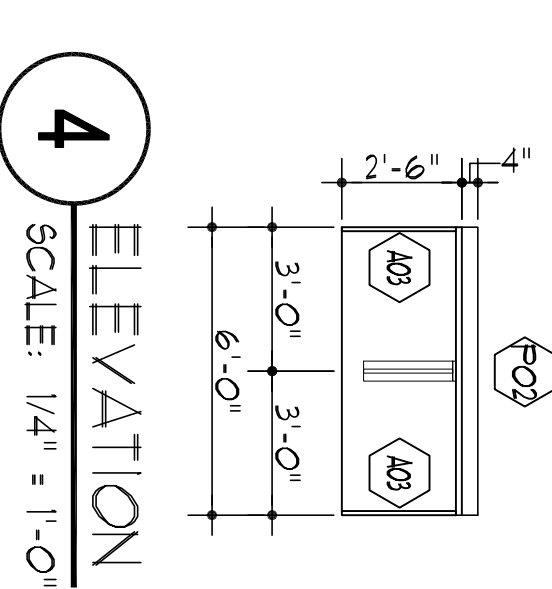
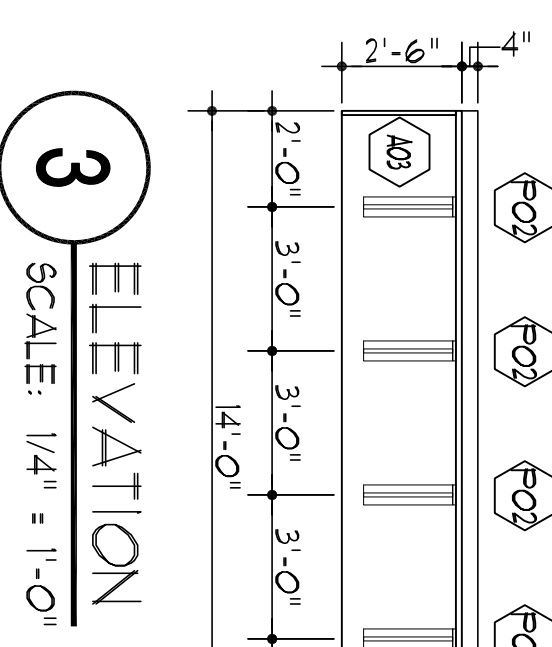
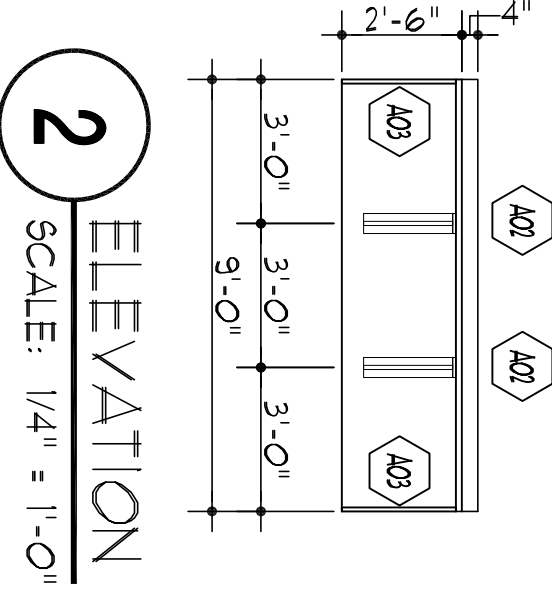
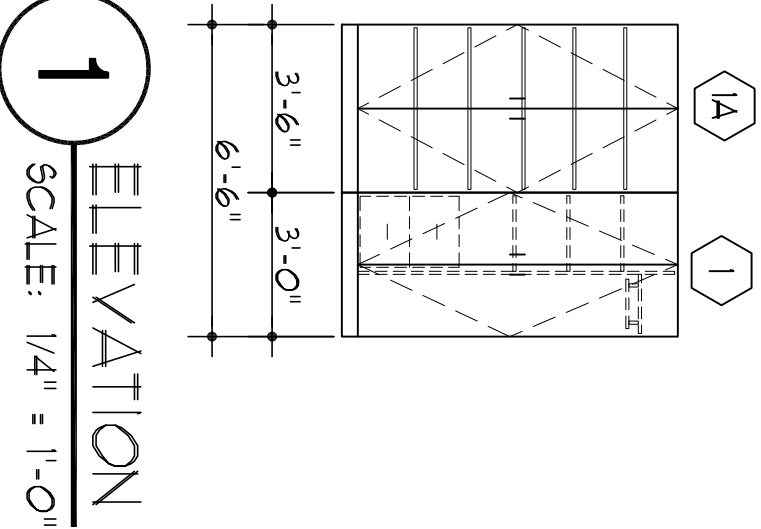
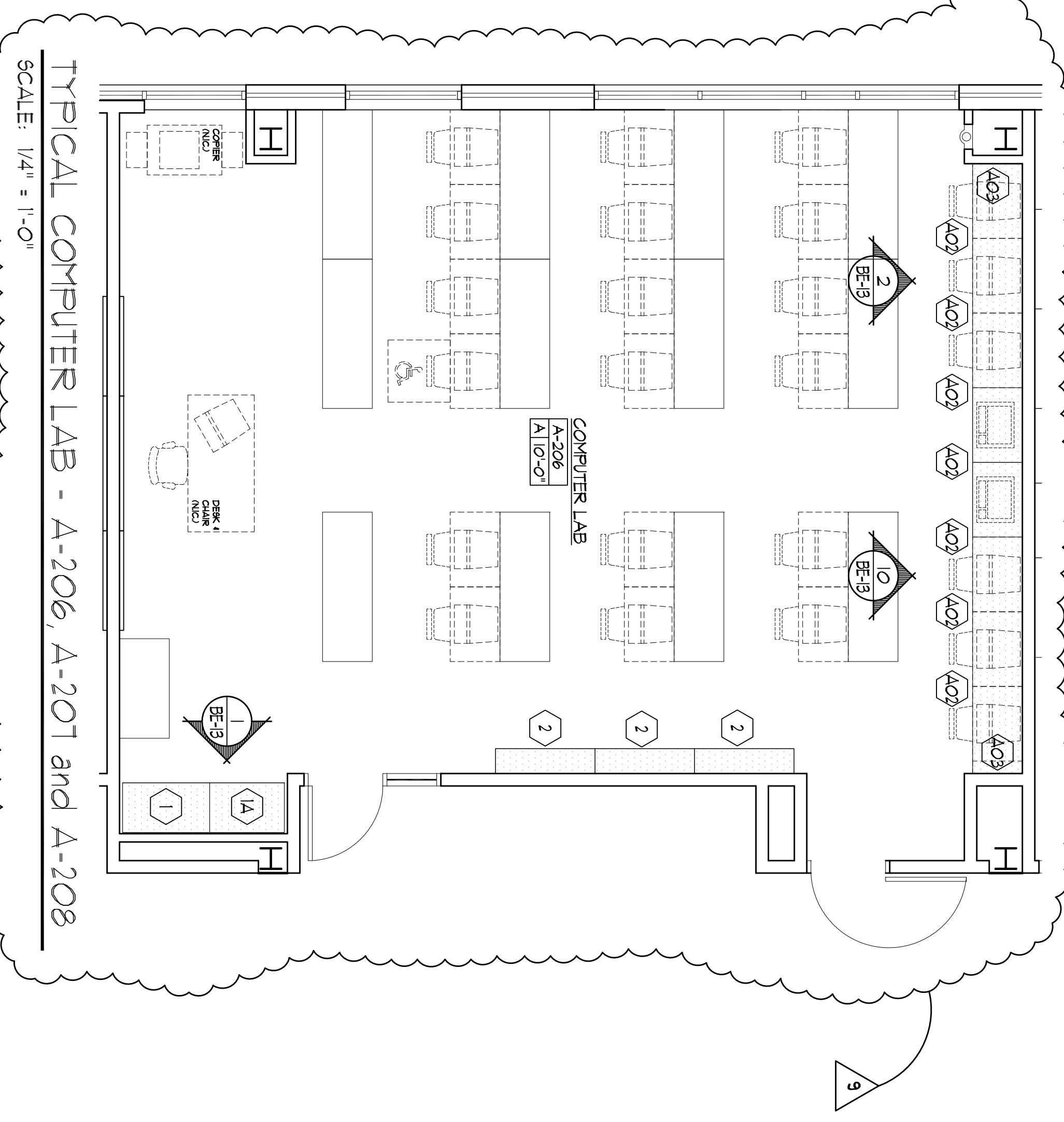
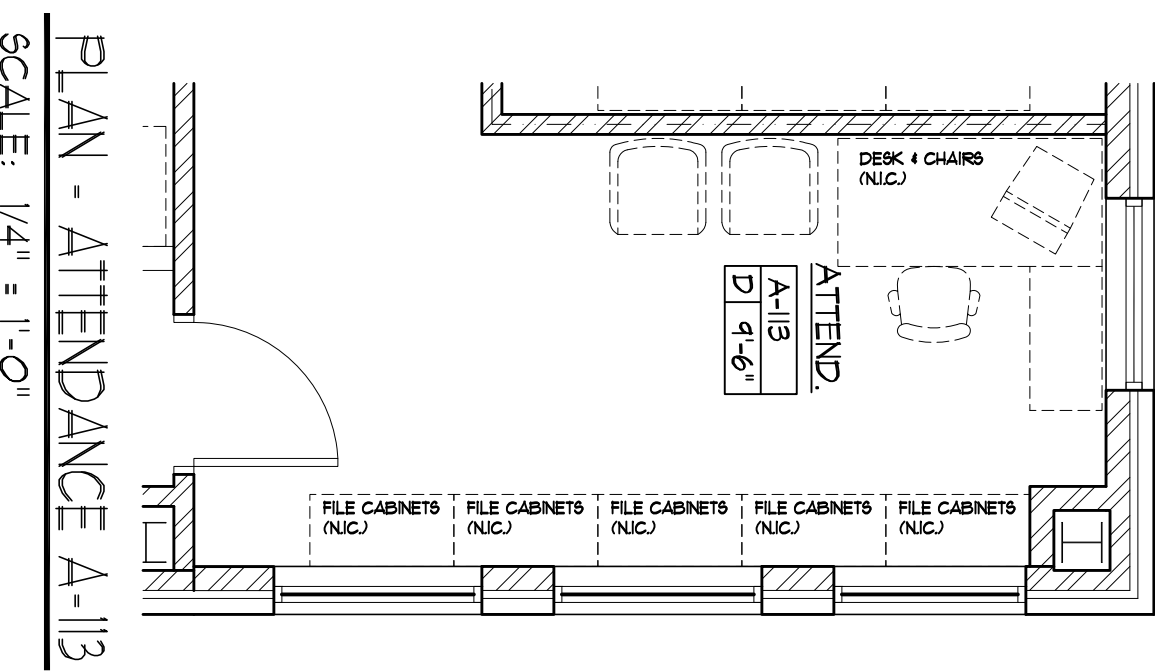
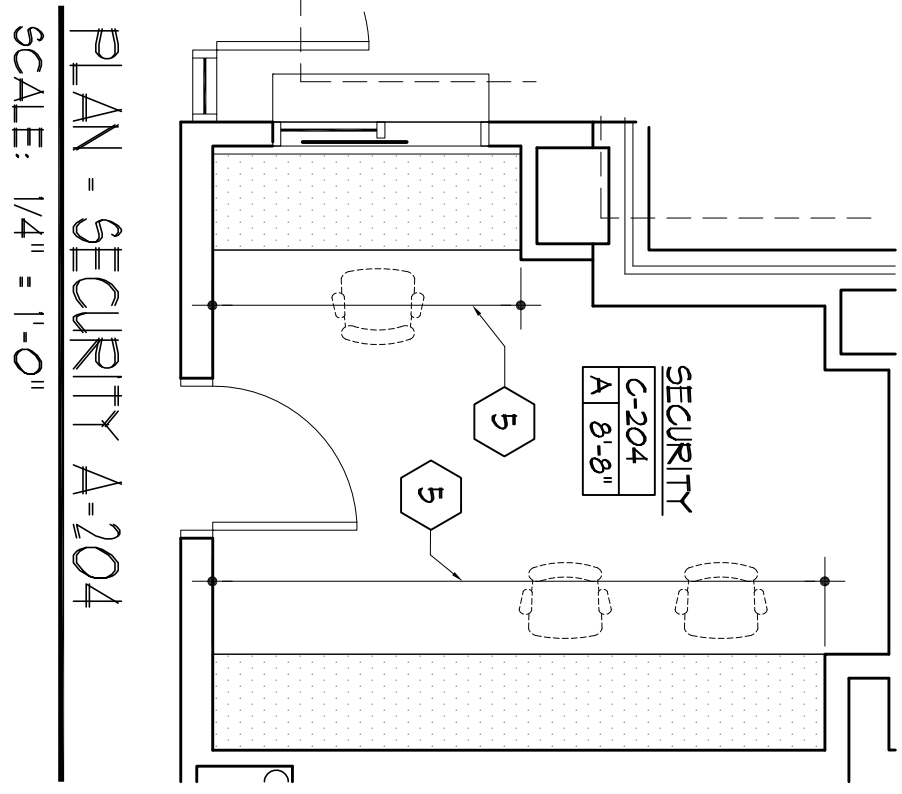
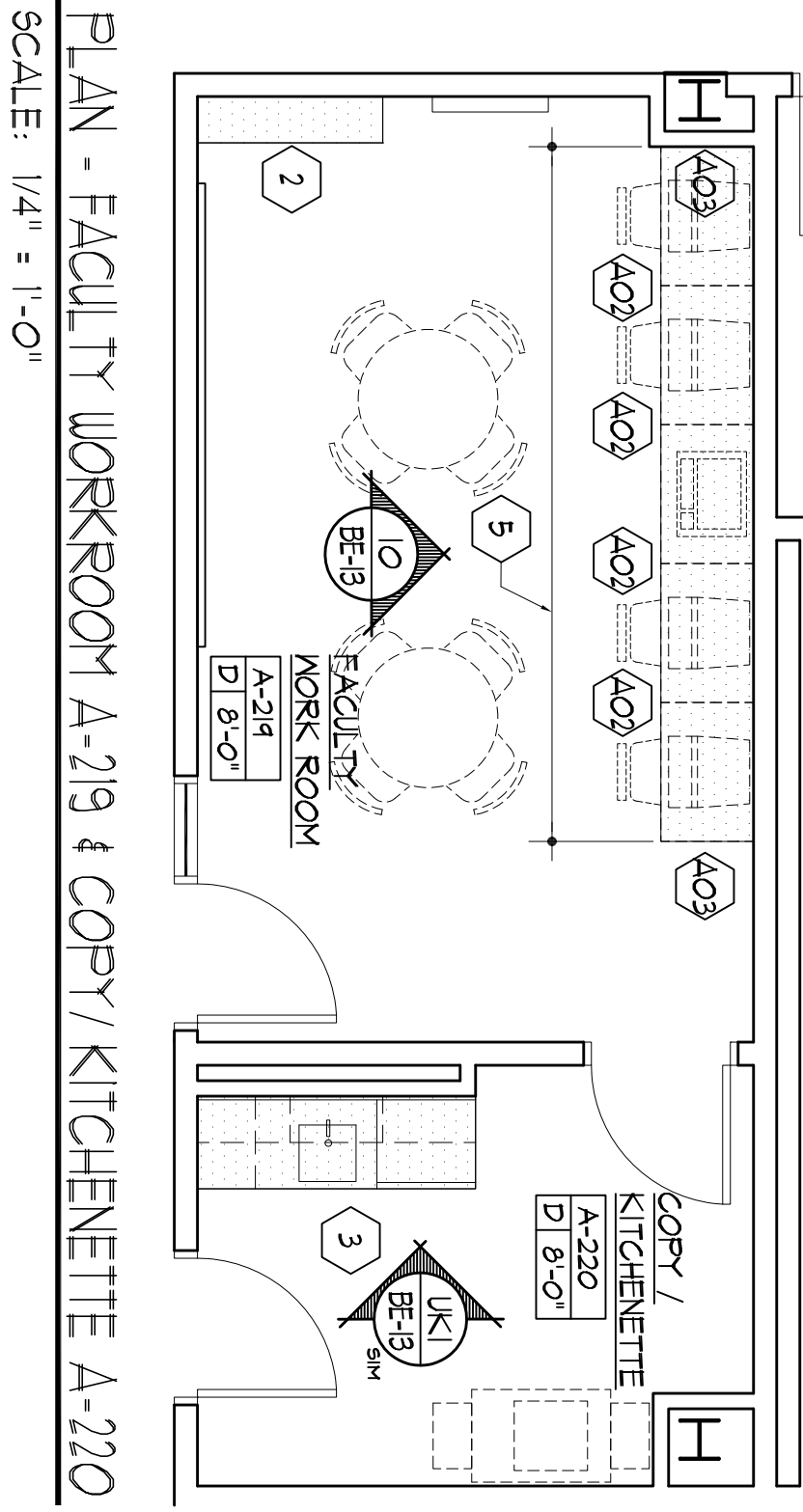
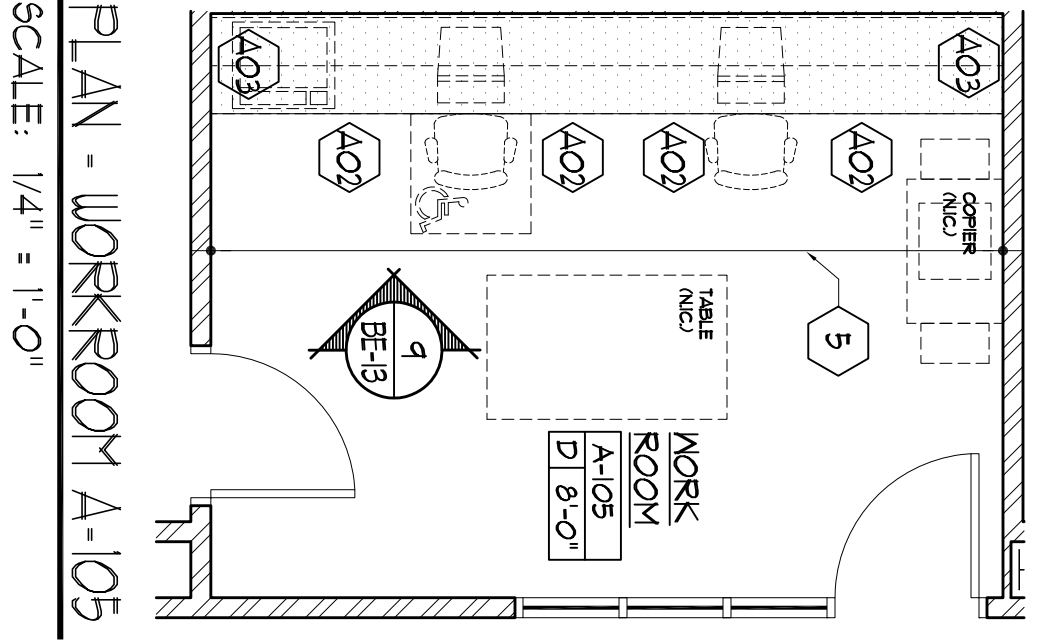
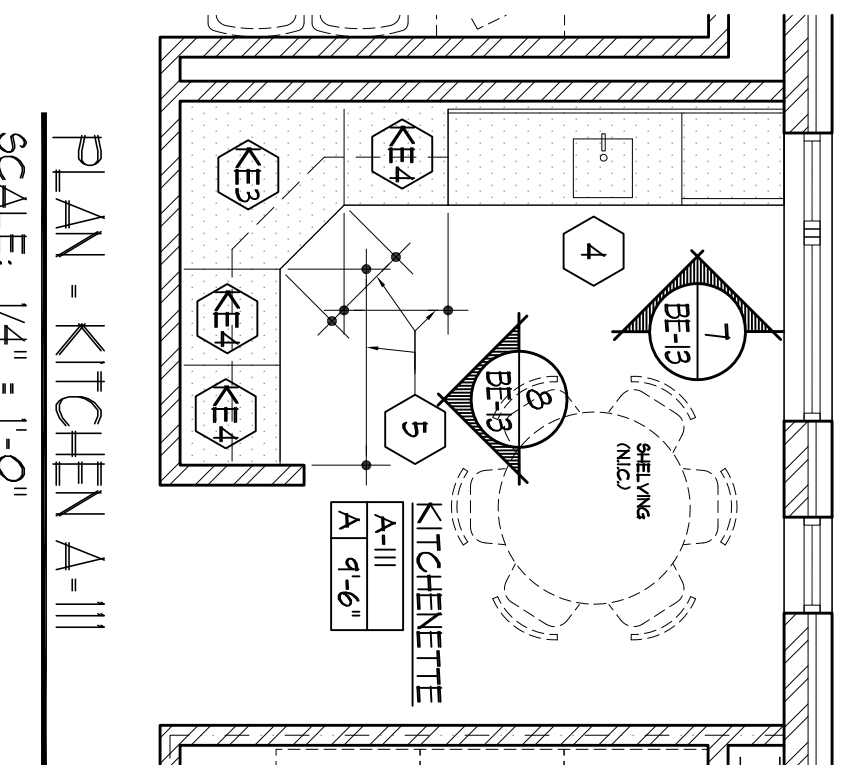
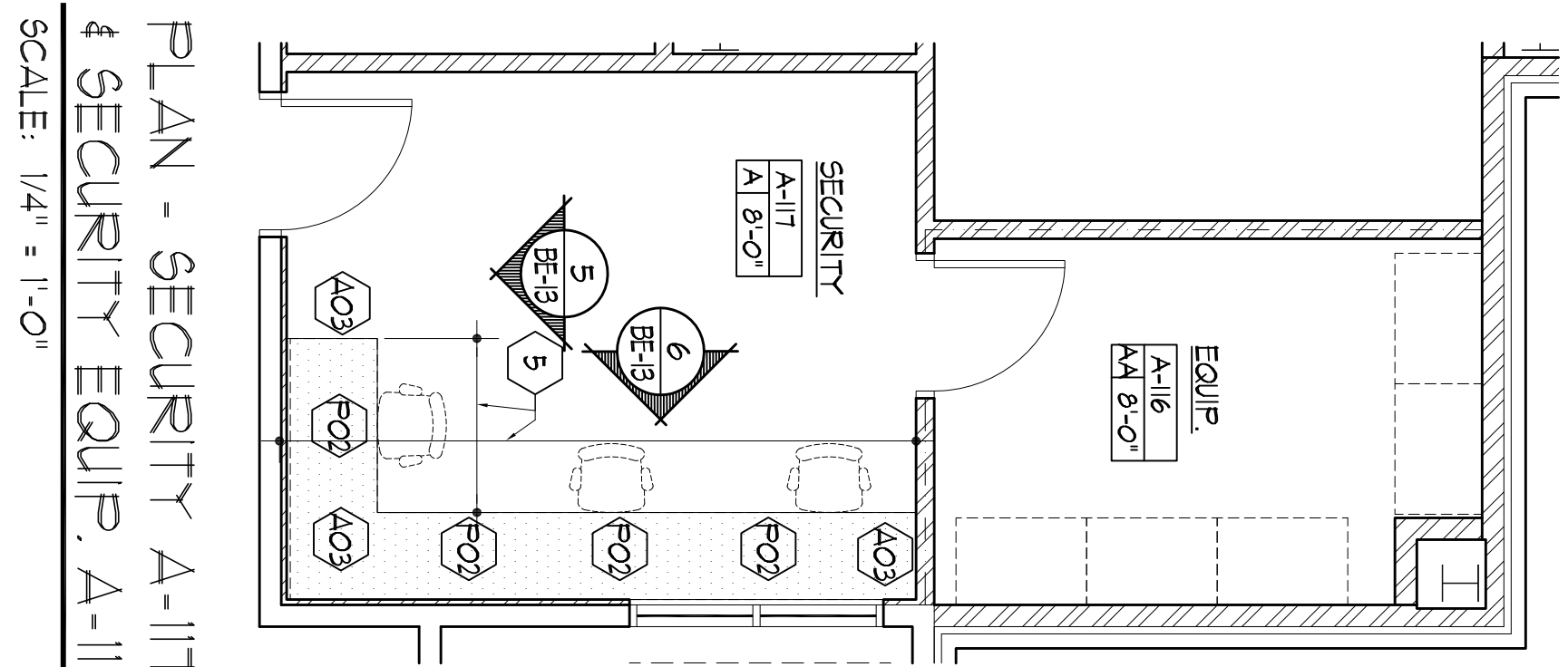
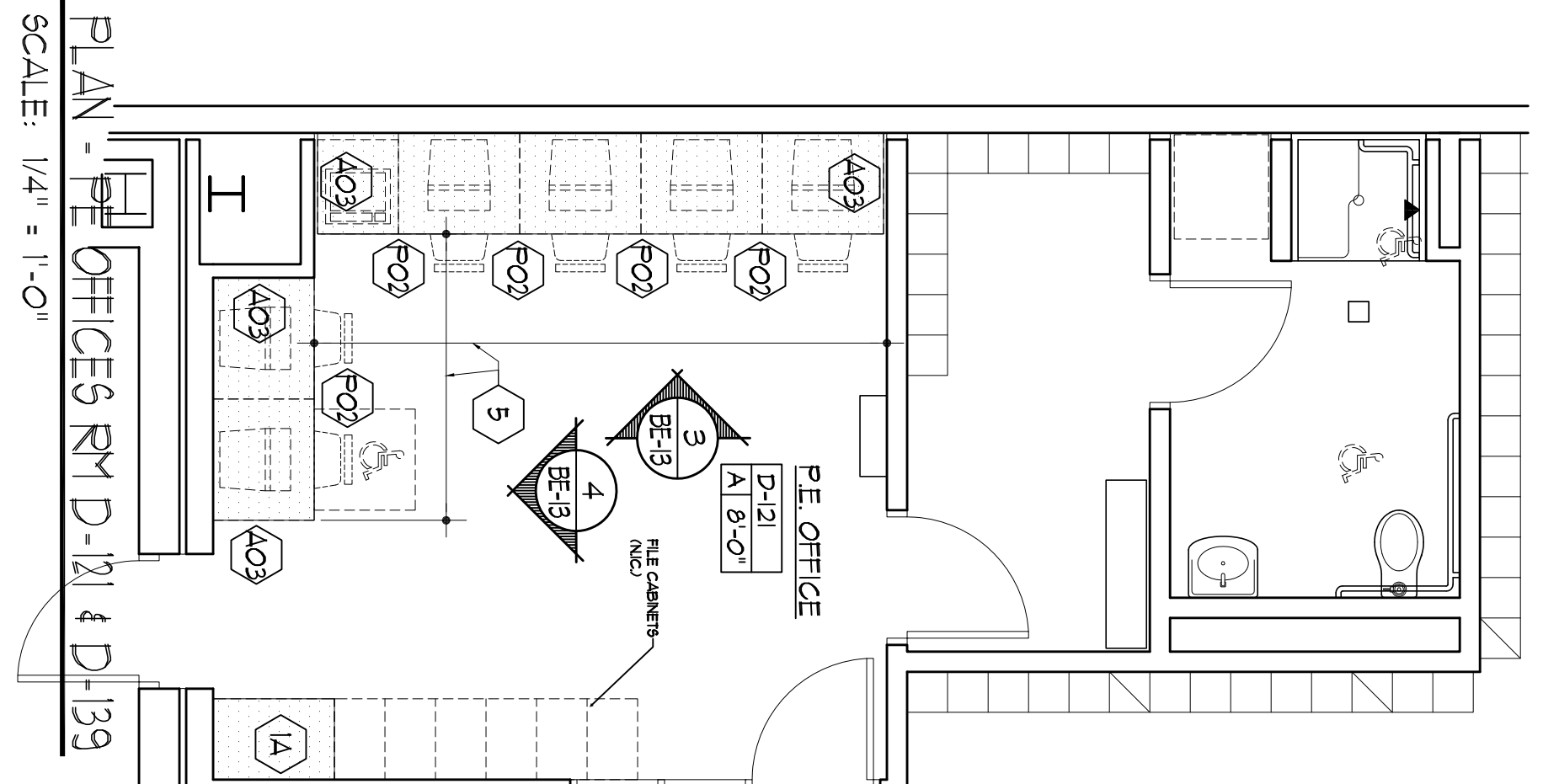
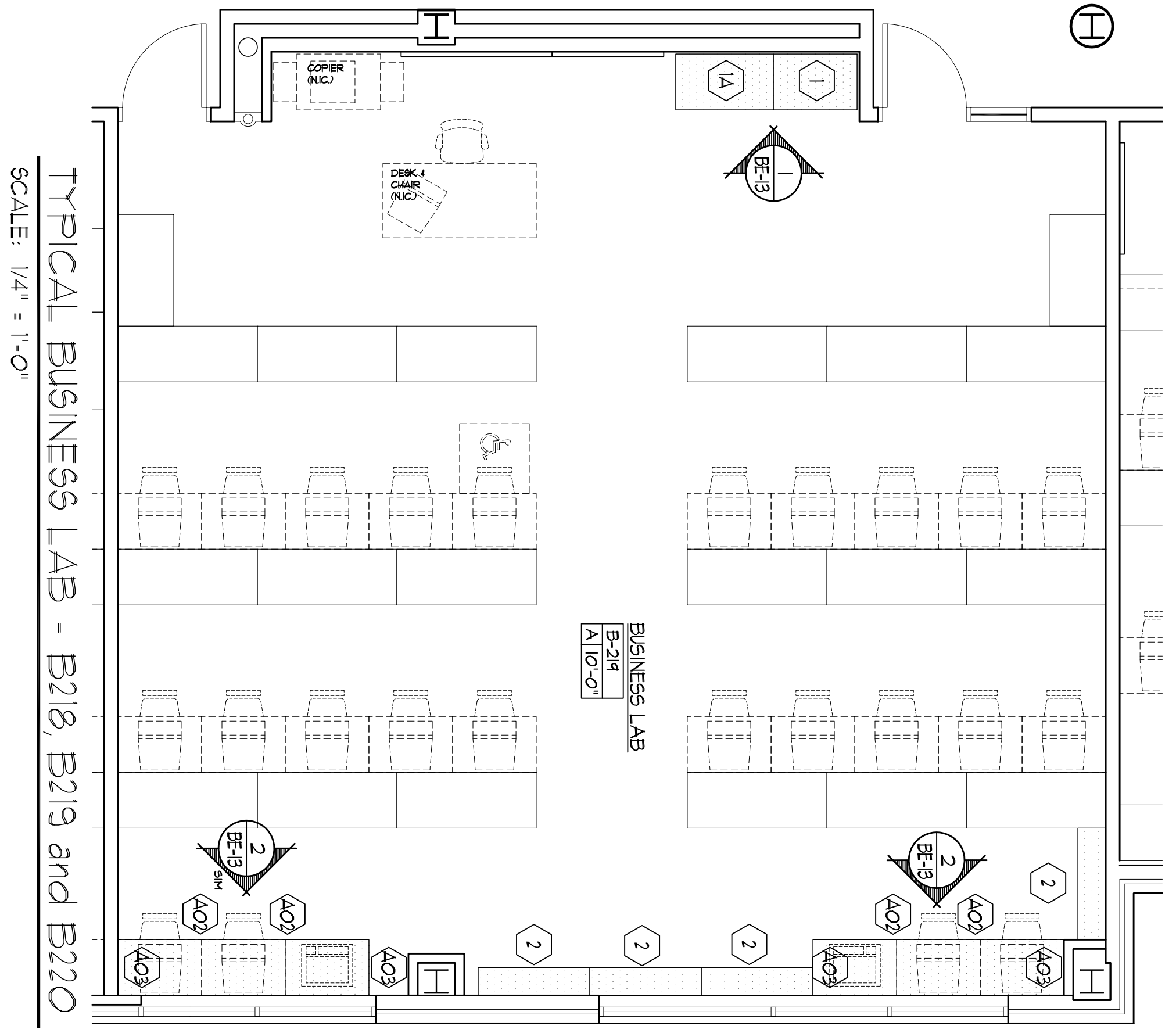




## Attachment 2.3

### Changes to the Drawings

### Built-In Equipment Drawings



- GENERAL NOTES:
- SEE ELECTRICAL/VAC PLUMBING & SPRINKLER DRAWINGS FOR ADDITIONAL INFORMATION.
  - CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND COORDINATE INSTALLATION OF ALL EQUIPMENT AND UTILITIES.
  - SEE MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION.
  - SEE HAZARDOUS EQUIPMENT SHALL BE ON VACUUM/ENERGY SHUT-OFFS.
  - ALL HAZARDOUS EQUIPMENT SHALL BE PROVIDED BY OWNER AND REMOVAL SHALL BE INSTALLED BY GC.
  - CONTRACTOR TO VERIFY ALL LOOSE EQUIPMENT AND FURNITURE TYPES, SIZES, LOCATIONS, AND SPECIFICATIONS WITH THE OWNER PRIOR TO INSTALLATION.
  - ALL OWNER-SUPPLIED EQUIPMENT AND FURNITURE REQUIRING UTILITY CONNECTIONS BY GC, IS SHOWN SOLID ON BUILT-IN EQUIPMENT DRAWINGS.
  - THE OWNER SHALL BE RESPONSIBLE TO OBTAIN ALL EXISTING EQUIPMENT EX ECOT TO THE BUILDING SITE TO AN AGREED UPON STAGING AREA (THE PARKING LOT NEAR BUILDING ENTRANCE) INCLUDING ALL REQUIRED TECHNICAL, ELECTRICAL, ETC. LOCK UPS, AND TO PROVIDE ALL NECESSARY CONCERNED BLOCKING FOR ALL WALL-SUPPORTED CASEWORK IN ALL THE ALL STUD / OFFICE BOARD THE PARTITIONS.

NO.	CASE NAME	DESCRIPTION	DIMENSIONS W x D x H	OWNER EXIST?	EQUIPMENT SCHEDULE					DESCRIPTION								
					FLOOR	TABLE	WALL	120V	208V		220V	DED	ENTER	LATER	DRAIN	SEWER	OUTLET	
1	T1750-36	TEACHER WORKDESK	36" x 24" x 84"															
1A	T2000-42	TEACHER STORAGE	42" x 24" x 84"															
2	L4400-48	STORAGE / BOOKCASE	48" x 24" x 36"															
3	L4400-48	STORAGE / BOOKCASE	48" x 24" x 36"															
4	DIETER	UNIT KITCHEN	71" x 24" x 76.5"															REFERS TO UK-1 ON BE-13.
5	DIETER	UNIT KITCHEN	84" x 24" x 76.5"															REFERS TO UK-2 ON BE-13.
6	DIETER	UNIT KITCHEN	84" x 24" x 76.5"															
7	B3000-33	BASE CABINET	33" x 24" x 36"															
8	X2000	WALL HUNG ANGLE SUPPORT																
9	X2000	FILTER PANEL																
10	X2000	CORNER BASE CABINET	36" x 24" x 34"															
11	B3000-41/7	WALL CABINET	24" x 18" x 30"															
12	X2000	WALL BRACKET	24" x 18" x 30"															
13	HET-124	24" DEEP HET-124/18" DEEP HET-124/18"																

**SDA**  
STATE OF NEW JERSEY  
NJ SCHOOL DEVELOPMENT AUTHORITY

100% NJDCA CONSTRUCTION DOCUMENTS SUBMISSION  
FOR:  
**NEW PHILLIPSBURG HIGH SCHOOL**  
DOE# 4100-N01-04-1000  
SDA# NT-0003-C02

**TOWN OF PHILLIPSBURG**  
UPPER BELVIDERE ROAD LOT 44 / BLOCK 2  
PHILLIPSBURG, NEW JERSEY 08865

PROJECT # - 2008.9396.00

ARCHITECT  
**Design Ideas Group**  
ARCHITECTS + DESIGNERS LLC

APPENDIX #2 (READ)	DATE
NJSDA REVISIONS / 03-01-13	
NJSDA REVISIONS / 03-12-12	
NJSDA COMMENTS / 03-04-11	
NJSDA COMMENTS / 03-08-12-10	
NJSDA COMMENTS / 05-17-10	
NJSDA COMMENTS / 02-12-10	
DATE: OCTOBER 13, 2009	
SCALE: AS NOTED	

DRAWING TITLE:  
**BUILT-IN EQUIPMENT PLANS, SECTIONS & SCHEDULE**

DRAWING NO.:  
**BE-13**

DRAWN BY:





## Attachment 2.3

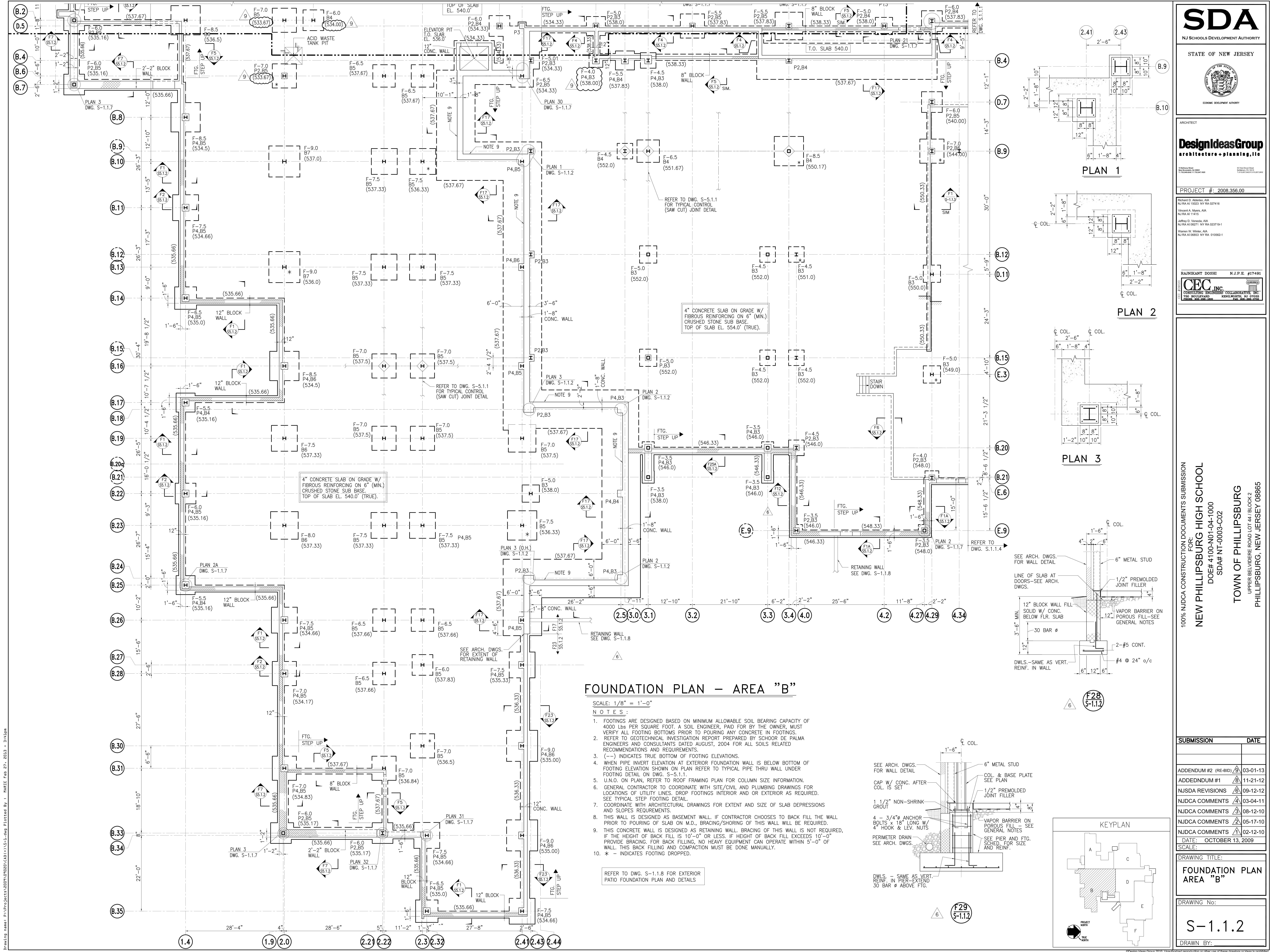
### Changes to the Drawings

#### Structural Drawings







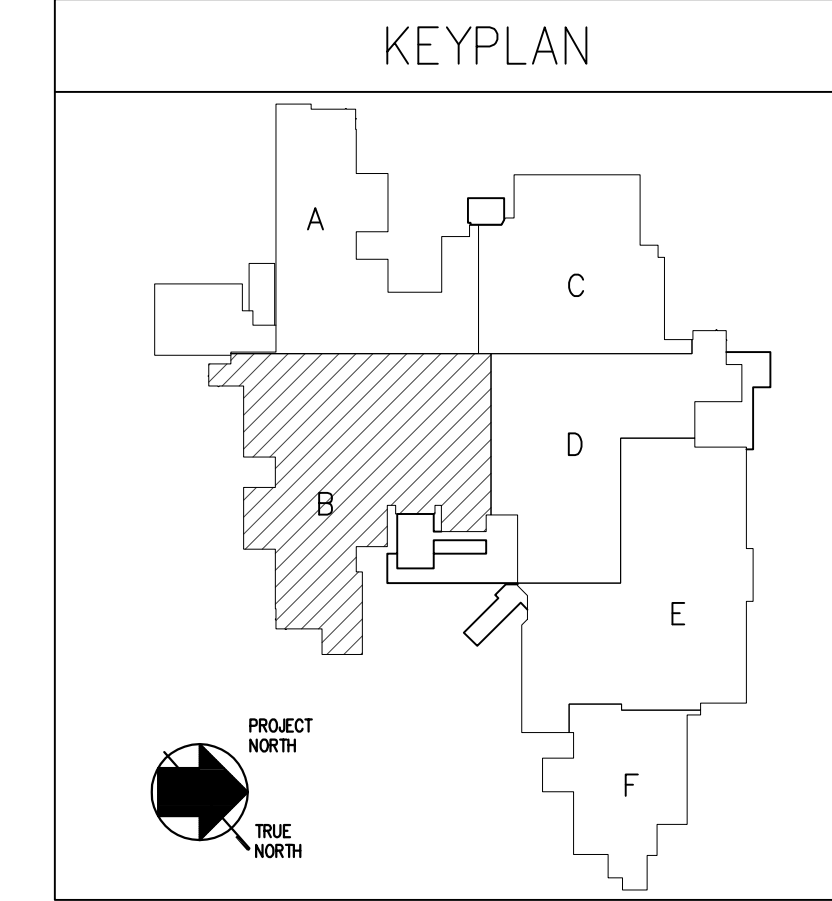
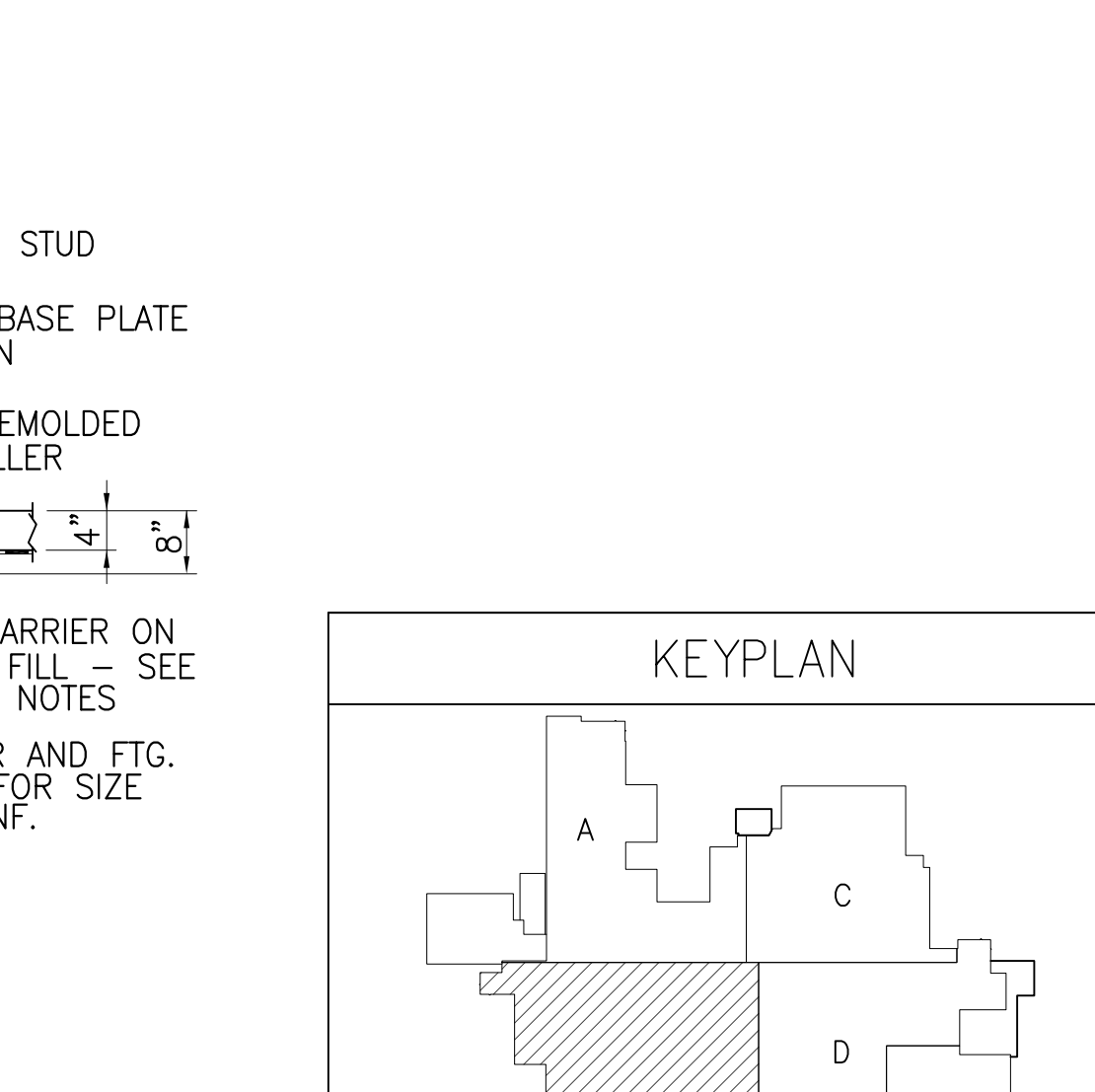
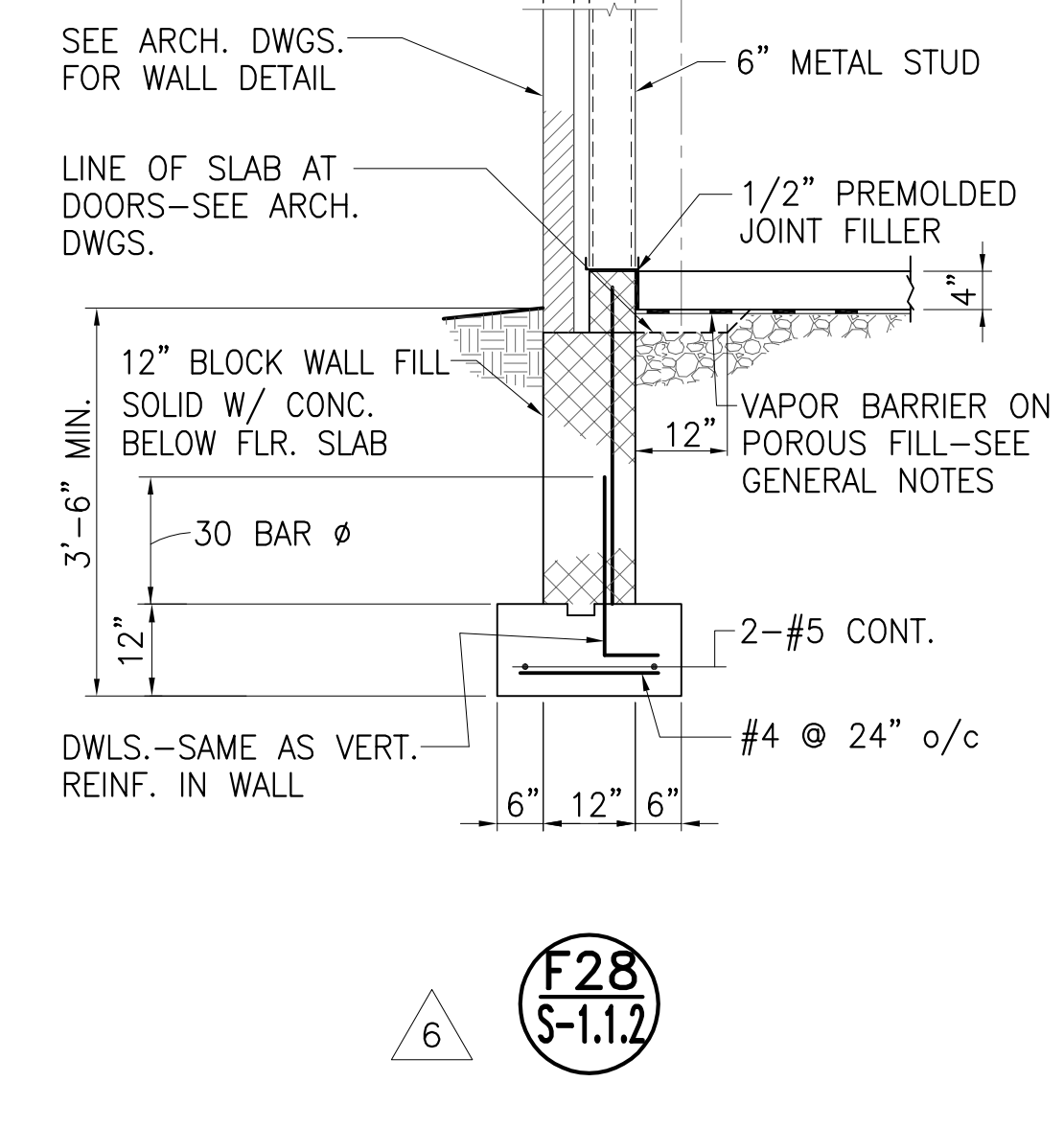


**FOUNDATION PLAN - AREA "B"**

SCALE: 1/8" = 1'-0"  
 NOTES:

- FOOTINGS ARE DESIGNED BASED ON MINIMUM ALLOWABLE SOIL BEARING CAPACITY OF 4000 LBS PER SQUARE FOOT. A SOIL ENGINEER, PAID FOR BY THE OWNER, MUST VERIFY ALL FOOTING BOTTOMS PRIOR TO POURING ANY CONCRETE IN FOOTINGS.
- REFER TO GEOTECHNICAL INVESTIGATION REPORT PREPARED BY SCHOOR DE PALMA ENGINEERS AND CONSULTANTS DATED AUGUST, 2004 FOR ALL SOILS RELATED RECOMMENDATIONS AND REQUIREMENTS.
- (- -) INDICATES TRUE BOTTOM OF FOOTING ELEVATIONS.
- WHEN PIPE INVERT ELEVATION AT EXTERIOR FOUNDATION WALL IS BELOW BOTTOM OF FOOTING ELEVATION SHOWN ON PLAN REFER TO TYPICAL PIPE THRU WALL UNDER FOOTING DETAIL ON DWG. S-5.1.1.
- U.N.O. ON PLAN, REFER TO ROOF FRAMING PLAN FOR COLUMN SIZE INFORMATION.
- GENERAL CONTRACTOR TO COORDINATE WITH SITE/CIVIL AND PLUMBING DRAWINGS FOR LOCATIONS OF UTILITY LINES, DROP FOOTINGS INTERIOR AND OR EXTERIOR AS REQUIRED. SEE TYPICAL STEP FOOTING DETAIL.
- COORDINATE WITH ARCHITECTURAL DRAWINGS FOR EXTENT AND SIZE OF SLAB DEPRESSIONS AND SLOPES REQUIREMENTS.
- THIS WALL IS DESIGNED AS BASEMENT WALL. IF CONTRACTOR CHOOSES TO BACK FILL THE WALL PRIOR TO POURING OF SLAB ON M.D., BRACING/SHORING OF THIS WALL WILL BE REQUIRED.
- THIS CONCRETE WALL IS DESIGNED AS RETAINING WALL. BRACING OF THIS WALL IS NOT REQUIRED, IF THE HEIGHT OF BACK FILL IS 10'-0" OR LESS. IF HEIGHT OF BACK FILL EXCEEDS 10'-0" PROVIDE BRACING, FOR BACK FILLING, NO HEAVY EQUIPMENT CAN OPERATE WITHIN 5'-0" OF WALL. THIS BACK FILLING AND COMPACTION MUST BE DONE MANUALLY.
- \* - INDICATES FOOTING DROPPED.

REFER TO DWG. S-1.1.8 FOR EXTERIOR PATIO FOUNDATION PLAN AND DETAILS

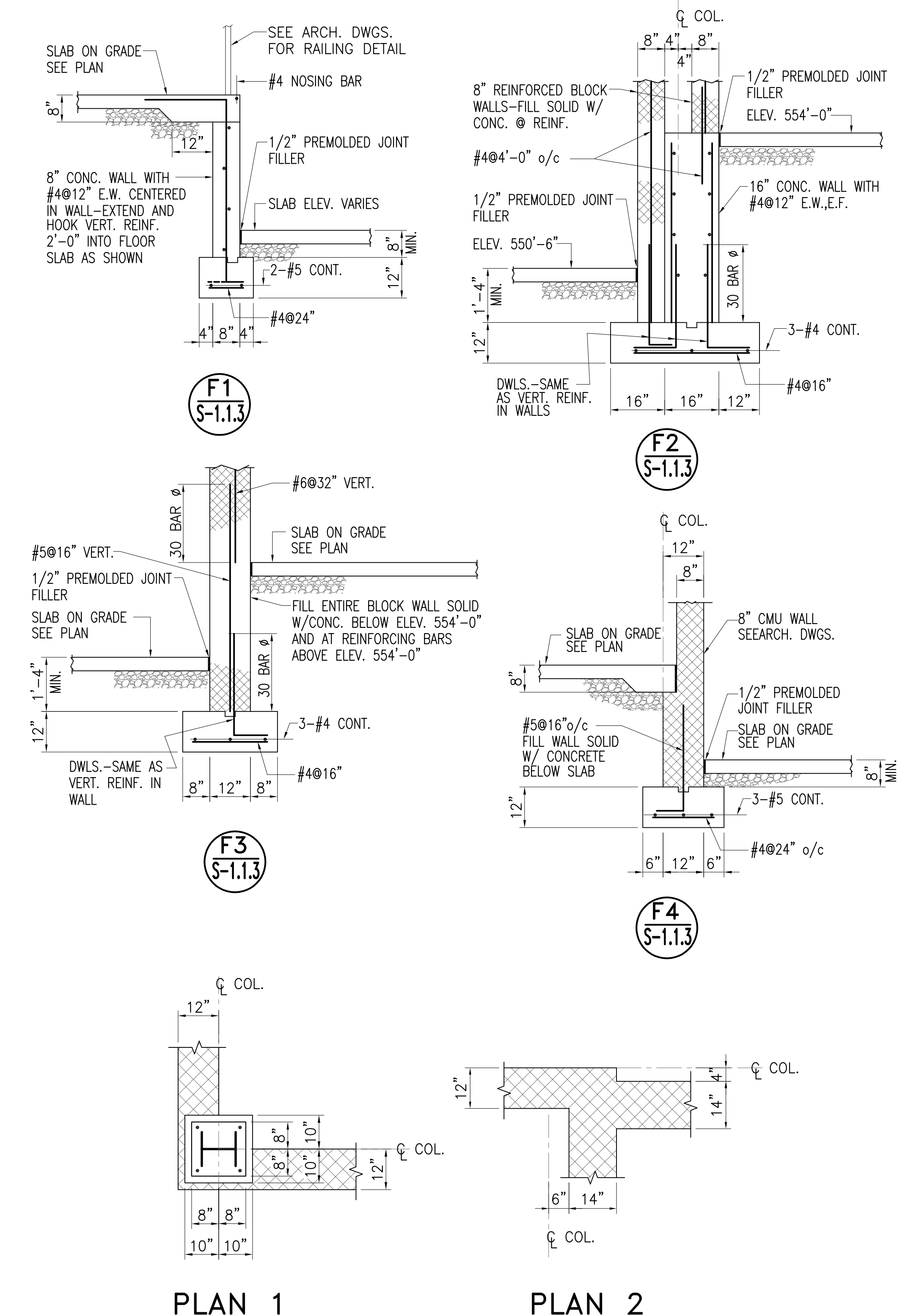
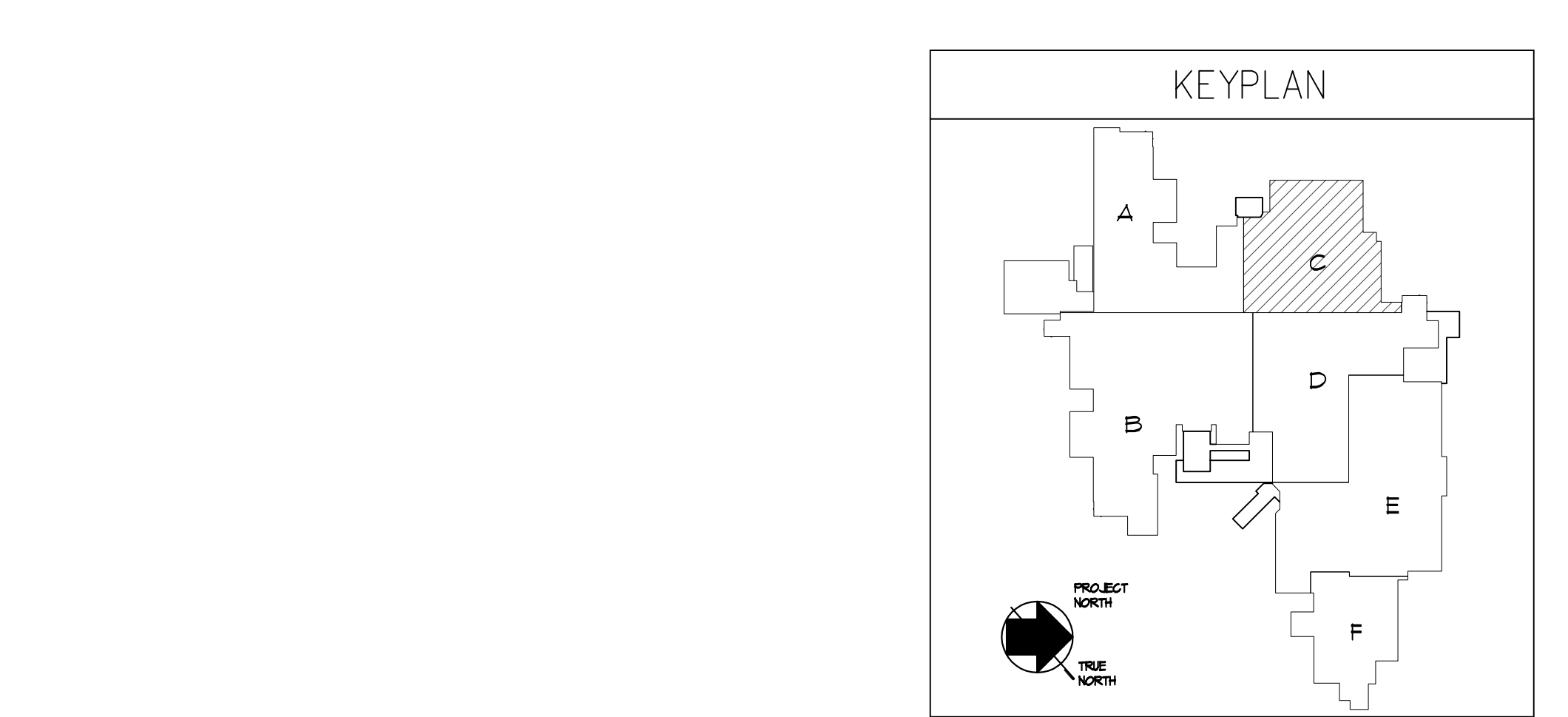
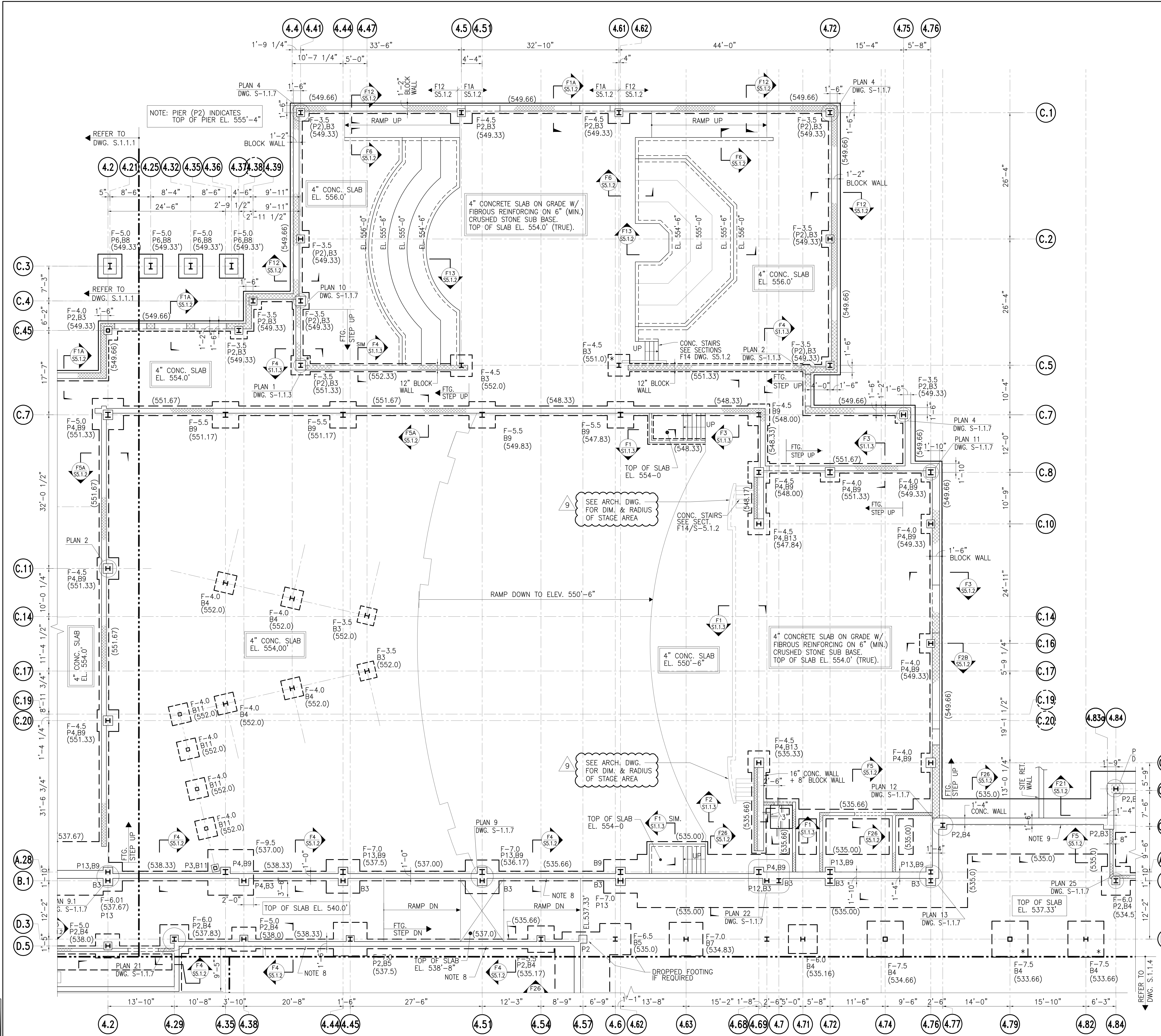


100% NJDCA CONSTRUCTION DOCUMENTS SUBMISSION  
 FOR:  
**NEW PHILLIPSBURG HIGH SCHOOL**  
 DOE# 4100-N01-04-1000  
 SDA# NT-0003-C02  
**TOWN OF PHILLIPSBURG**  
 UPPER BELVIDERE ROAD LOT 44 / BLOCK 2  
 PHILIPPSBURG, NEW JERSEY 08865

SUBMISSION	DATE
ADDENDUM #2 (RE-BID)	03-01-13
ADDENDUM #1	11-21-12
NJSDA REVISIONS	09-12-12
NJDCA COMMENTS	03-04-11
NJDCA COMMENTS	08-12-10
NJDCA COMMENTS	05-17-10
NJDCA COMMENTS	02-12-10
DATE:	OCTOBER 13, 2009
SCALE:	

DRAWING TITLE:  
**FOUNDATION PLAN AREA "B"**  
 DRAWING No:  
**S-1.1.2**  
 DRAWN BY:



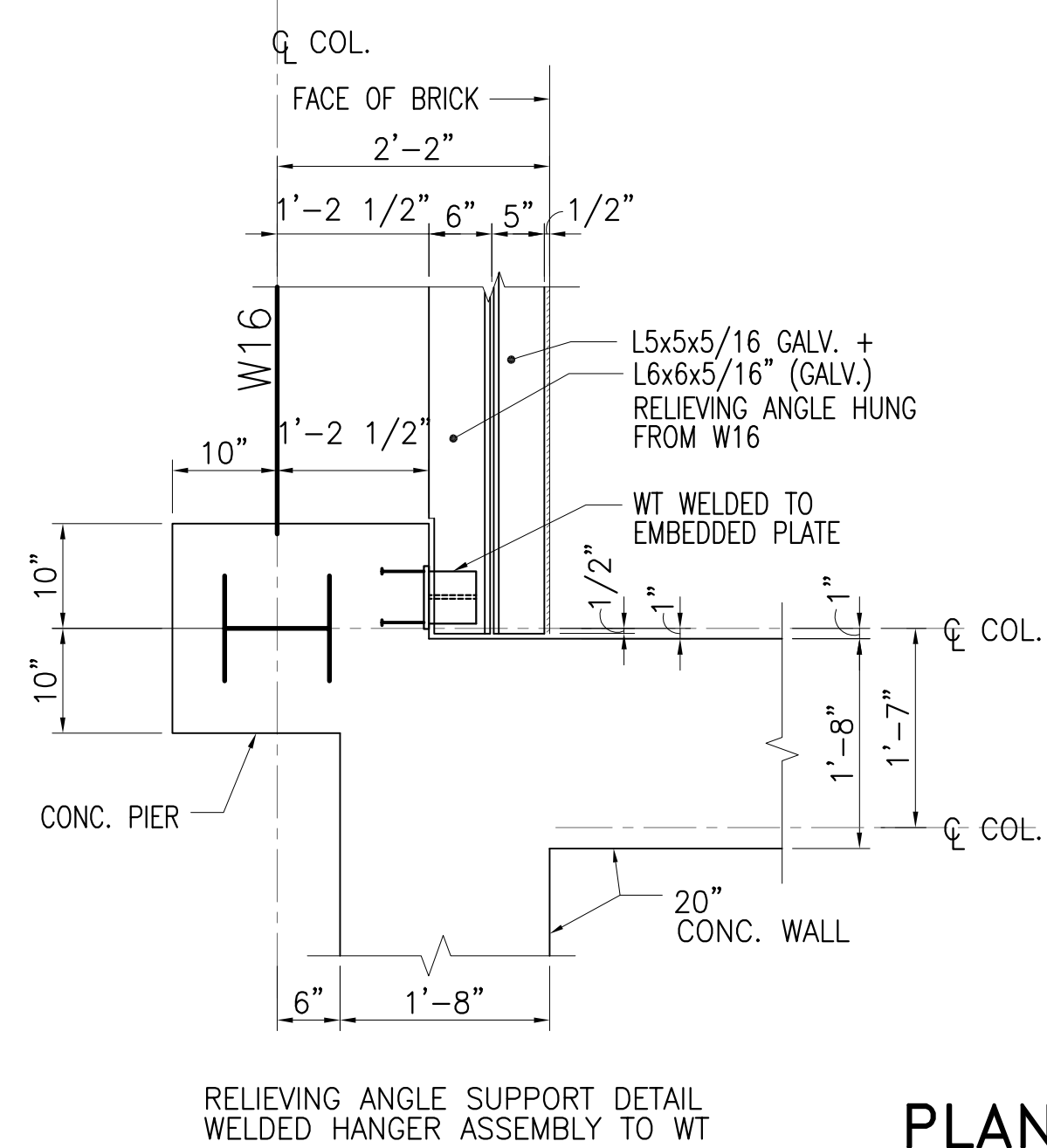


### FOUNDATION PLAN - AREA "C"

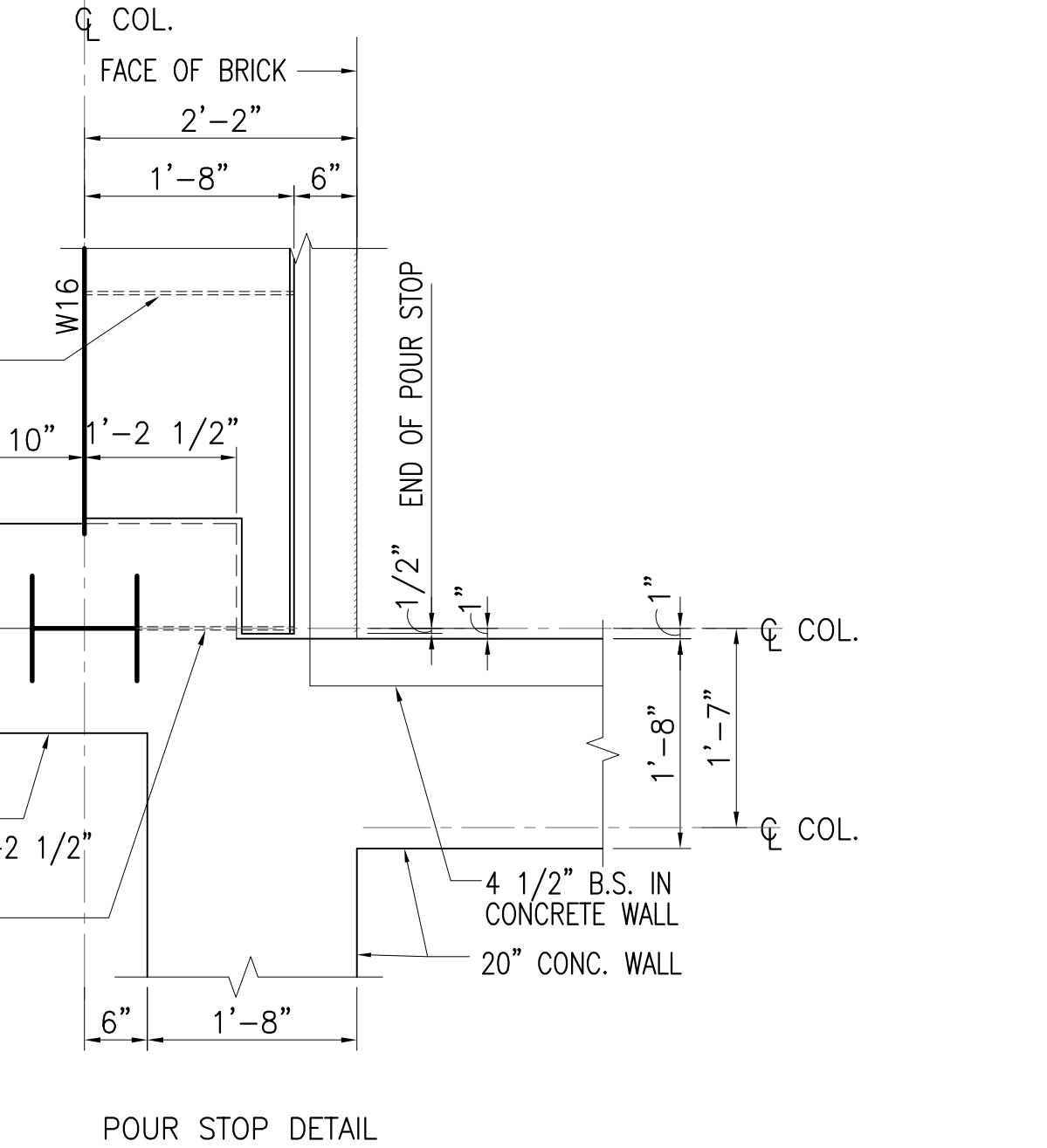
SCALE: 1/8" = 1'-0"

**NOTES:**

- FOOTINGS ARE DESIGNED BASED ON MINIMUM ALLOWABLE SOIL BEARING CAPACITY OF 4000 LBS PER SQUARE FOOT. A SOIL ENGINEER, PAID FOR BY THE OWNER, MUST VERIFY ALL FOOTING BOTTOMS PRIOR TO POURING ANY CONCRETE IN FOOTINGS.
- REFER TO GEOTECHNICAL INVESTIGATION REPORT PREPARED BY SCHORR DE PALMA ENGINEERS AND CONSULTANTS DATED AUGUST, 2004 FOR ALL SOILS RELATED RECOMMENDATIONS AND REQUIREMENTS.
- (- -) INDICATES TRUE BOTTOM OF FOOTING ELEVATIONS.
- WHEN PIPE INVERT ELEVATION AT EXTERIOR FOUNDATION WALL IS BELOW BOTTOM OF FOOTING ELEVATION SHOWN ON PLAN REFER TO TYPICAL PIPE THRU WALL UNDER FOOTING DETAIL ON DWG. S-5.1.1.
- U.N.O. ON PLAN, REFER TO ROOF FRAMING PLAN FOR COLUMN SIZE INFORMATION.
- GENERAL CONTRACTOR TO COORDINATE WITH SITE/CIVIL AND PLUMBING DRAWINGS FOR LOCATIONS OF UTILITY LINES, DROP FOOTINGS INTERIOR AND OR EXTERIOR AS REQUIRED. SEE TYPICAL STEP FOOTING DETAIL.
- COORDINATE WITH ARCHITECTURAL DRAWINGS FOR EXTENT AND SIZE OF SLAB DEPRESSIONS AND SLOPES REQUIREMENTS.
- THIS WALL IS DESIGNED AS BASEMENT WALL. IF CONTRACTOR CHOOSES TO BACK FILL THE WALL PRIOR TO POURING OF SLAB ON M.D., BRACING/SHORING OF THIS WALL WILL BE REQUIRED.
- THIS CONCRETE WALL IS DESIGNED AS RETAINING WALL. BRACING OF THIS WALL IS NOT REQUIRED, IF THE HEIGHT OF BACK FILL IS 10'-0" OR LESS. IF HEIGHT OF BACK FILL EXCEEDS 10'-0" PROVIDE BRACING. FOR BACK FILLING, NO HEAVY EQUIPMENT CAN OPERATE WITHIN 5'-0" OF WALL. THIS BACK FILLING AND COMPACTION MUST BE DONE MANUALLY.
- \* - INDICATES FOOTING DROPPED.



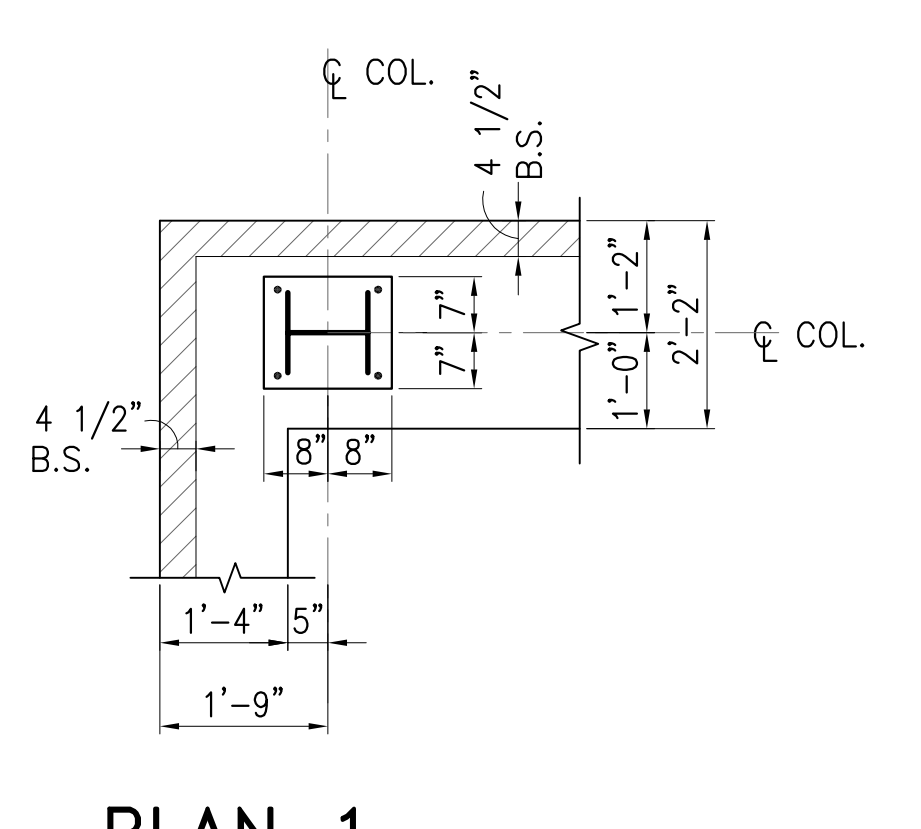
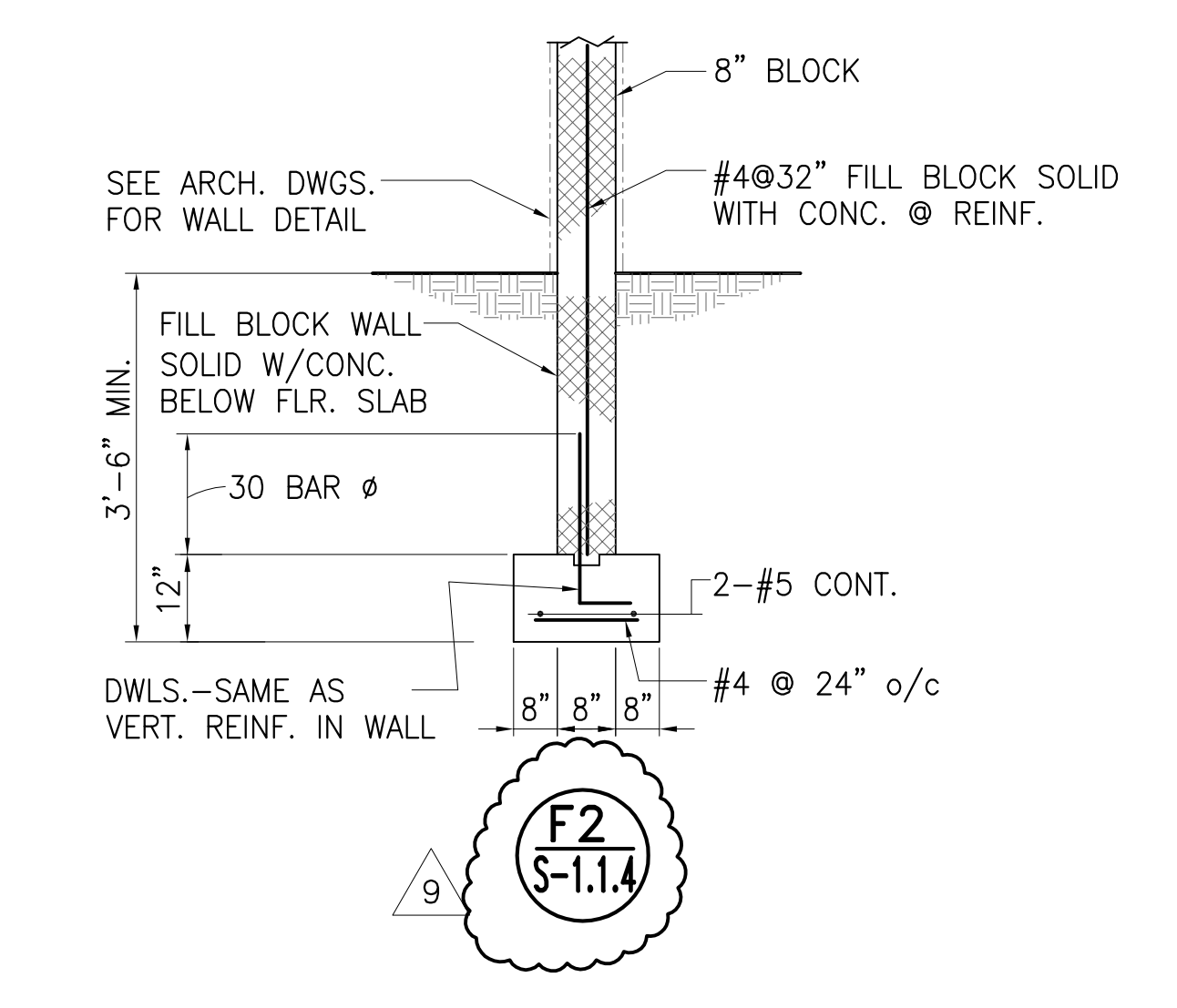
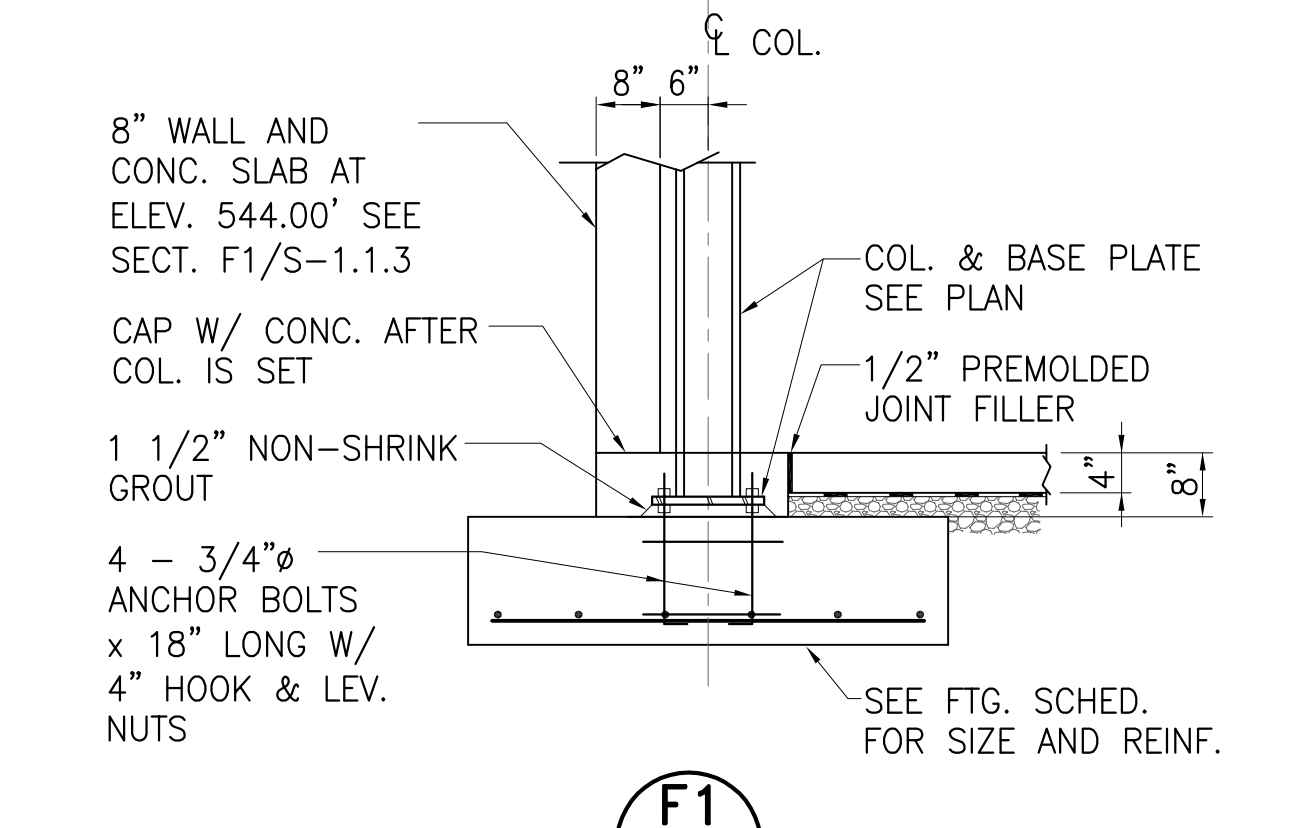
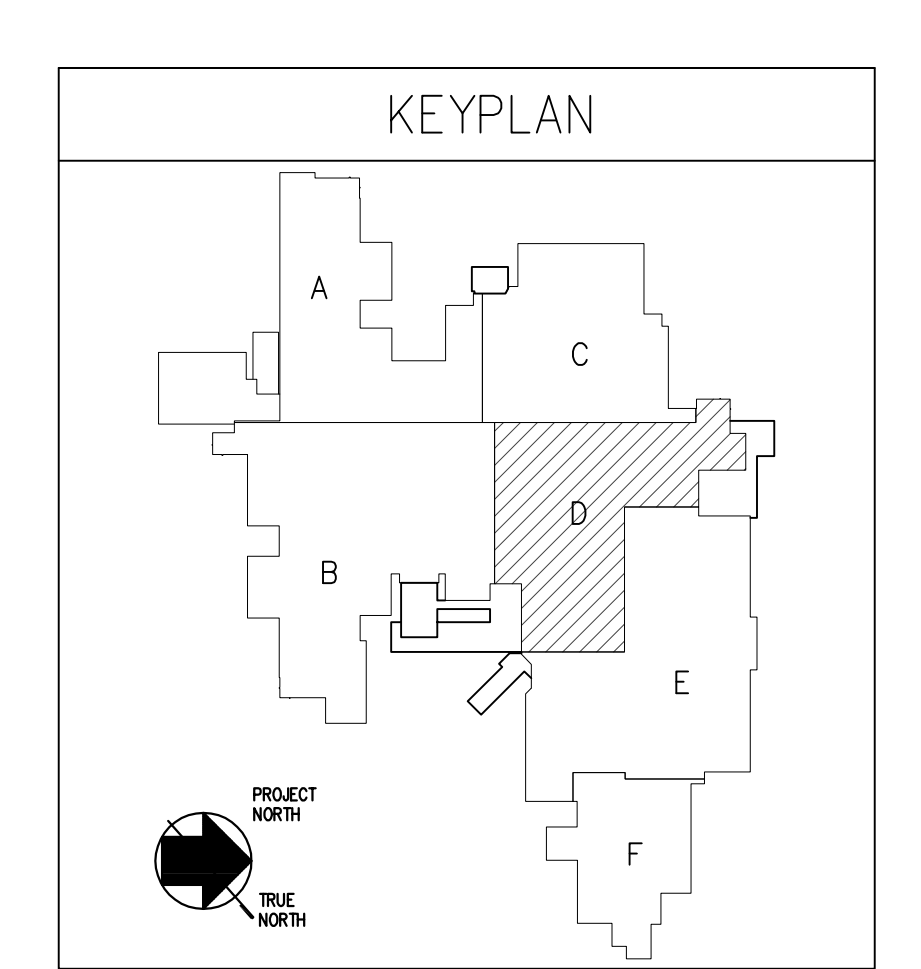
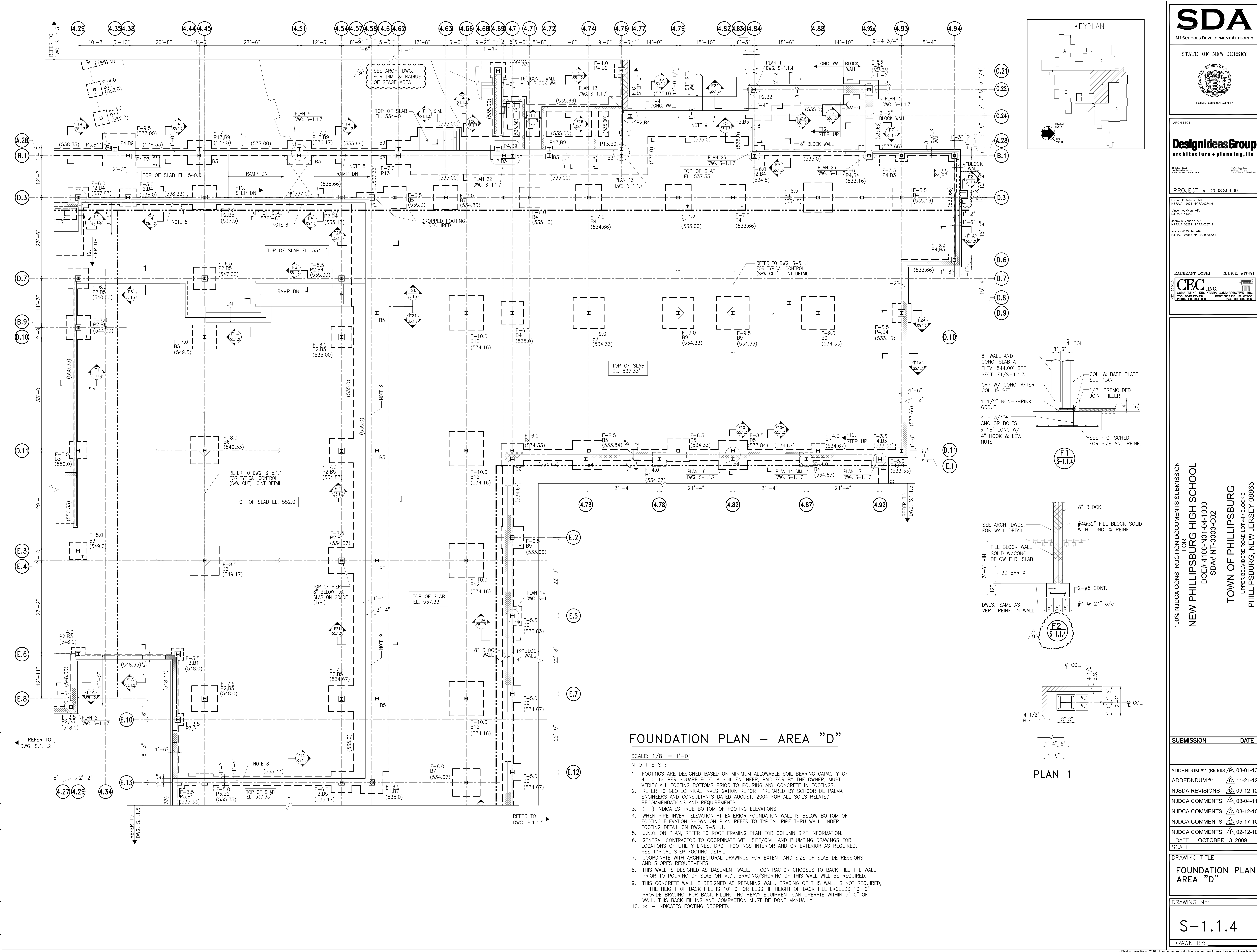
PLAN 101



PLAN 102

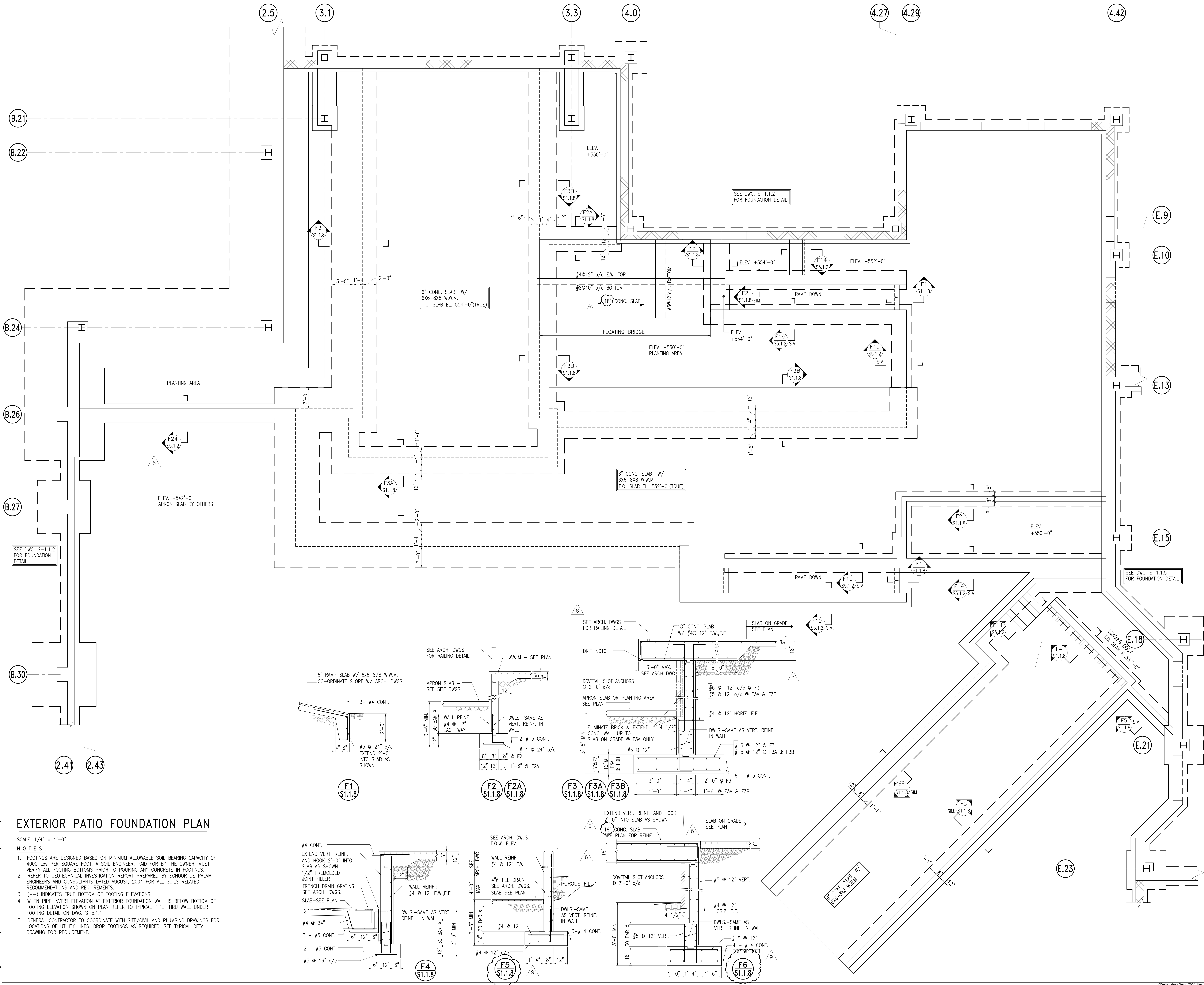
SUBMISSION	DATE
ADDENDUM #2 (RE-BID) ②	03-01-13
NJDCA COMMENTS ③	03-04-11
NJDCA COMMENTS ④	08-12-10
NJDCA COMMENTS ⑤	05-17-10
NJDCA COMMENTS ⑥	02-12-10
DATE:	OCTOBER 13, 2009
SCALE:	
DRAWING TITLE:	<b>FOUNDATION PLAN AREA "C"</b>
DRAWING No:	<b>S-1.1.3</b>
DRAWN BY:	





SUBMISSION	DATE
ADDENDUM #2 (RE-BID)	03-01-13
ADDENDUM #1	11-21-12
NJSDA REVISIONS	09-12-12
NJDCA COMMENTS	03-04-11
NJDCA COMMENTS	08-12-10
NJDCA COMMENTS	05-17-10
NJDCA COMMENTS	02-12-10
DATE:	OCTOBER 13, 2009
SCALE:	
DRAWING TITLE:	<b>FOUNDATION PLAN AREA "D"</b>
DRAWING No.:	<b>S-1.1.4</b>
DRAWN BY:	





**EXTERIOR PATIO FOUNDATION PLAN**

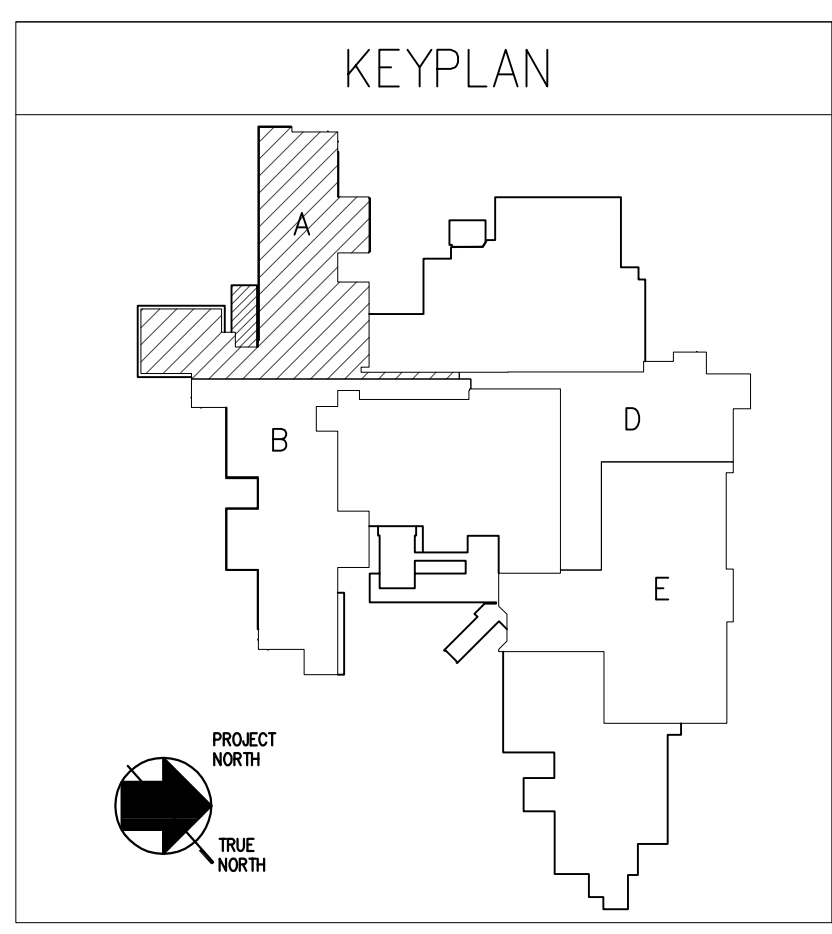
- SCALE: 1/4" = 1'-0"
- NOTES:**
- FOOTINGS ARE DESIGNED BASED ON MINIMUM ALLOWABLE SOIL BEARING CAPACITY OF 4000 LBS PER SQUARE FOOT. A SOIL ENGINEER, PAID FOR BY THE OWNER, MUST VERIFY ALL FOOTING BOTTOMS PRIOR TO POURING ANY CONCRETE IN FOOTINGS.
  - REFER TO GEOTECHNICAL INVESTIGATION REPORT PREPARED BY SCHORR DE PALMA ENGINEERS AND CONSULTANTS DATED AUGUST, 2004 FOR ALL SOILS RELATED RECOMMENDATIONS AND REQUIREMENTS.
  - (-) INDICATES TRUE BOTTOM OF FOOTING ELEVATIONS.
  - WHEN PIPE INVERT ELEVATION AT EXTERIOR FOUNDATION WALL IS BELOW BOTTOM OF FOOTING ELEVATION SHOWN ON PLAN REFER TO TYPICAL PIPE THRU WALL UNDER FOOTING DETAIL ON DWG. S-5.1.1.
  - GENERAL CONTRACTOR TO COORDINATE WITH SITE/CIVIL AND PLUMBING DRAWINGS FOR LOCATIONS OF UTILITY LINES. DROP FOOTINGS AS REQUIRED. SEE TYPICAL DETAIL DRAWING FOR REQUIREMENT.

SUBMISSION	DATE
ADDENDUM #2 (RE-BID)	03-01-13
ADDENDUM #1	11-21-12
NJSDA REVISIONS	09-12-12
NJDC COMMENTS	03-04-11
NJDC COMMENTS	08-12-10
NJDC COMMENTS	05-17-10
NJDC COMMENTS	02-12-10
DATE: OCTOBER 13, 2009	
SCALE:	
DRAWING TITLE:	
<b>EXTERIOR PATIO FOUNDATION PLAN &amp; DETAILS</b>	
DRAWING No:	
<b>S-1.1.8</b>	
DRAWN BY:	

Printing name: P:\Projects\2008\356\00\356-1.1.8.dwg Plotted by: MHE Feb 27, 2013 4:28pm



SUBMISSION	DATE
ADDENDUM #2 (RE-BID)	03-01-13
ADDENDUM #1	11-21-12
NJSDA REVISIONS	09-12-12
NJDC COMMENTS	03-04-11
NJDC COMMENTS	08-12-10
NJDC COMMENTS	05-17-10
NJDC COMMENTS	02-12-10
DATE:	OCTOBER 13, 2009
SCALE:	
DRAWING TITLE:	<b>SECOND FLOOR AND PART ROOF FRAMING PLAN AREA "A"</b>
DRAWING No.:	<b>S-2.1.1</b>
DRAWN BY:	



**MOMENT CONNECTION SCHEDULE**

MARK	(FT-KIPS)
M1	35
M2	40
M3	50
M4	85
M5	110
M6	130
M7	150

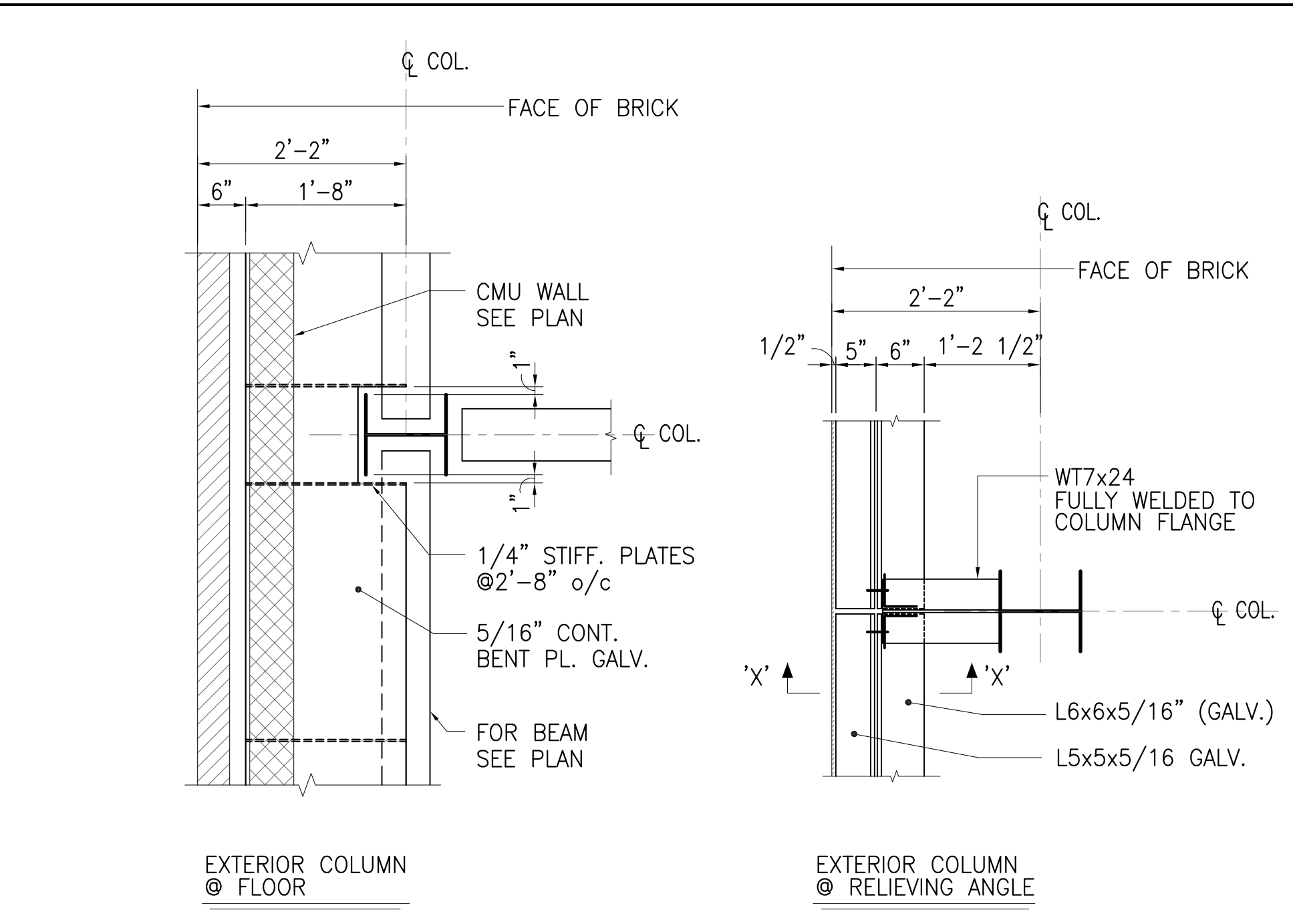
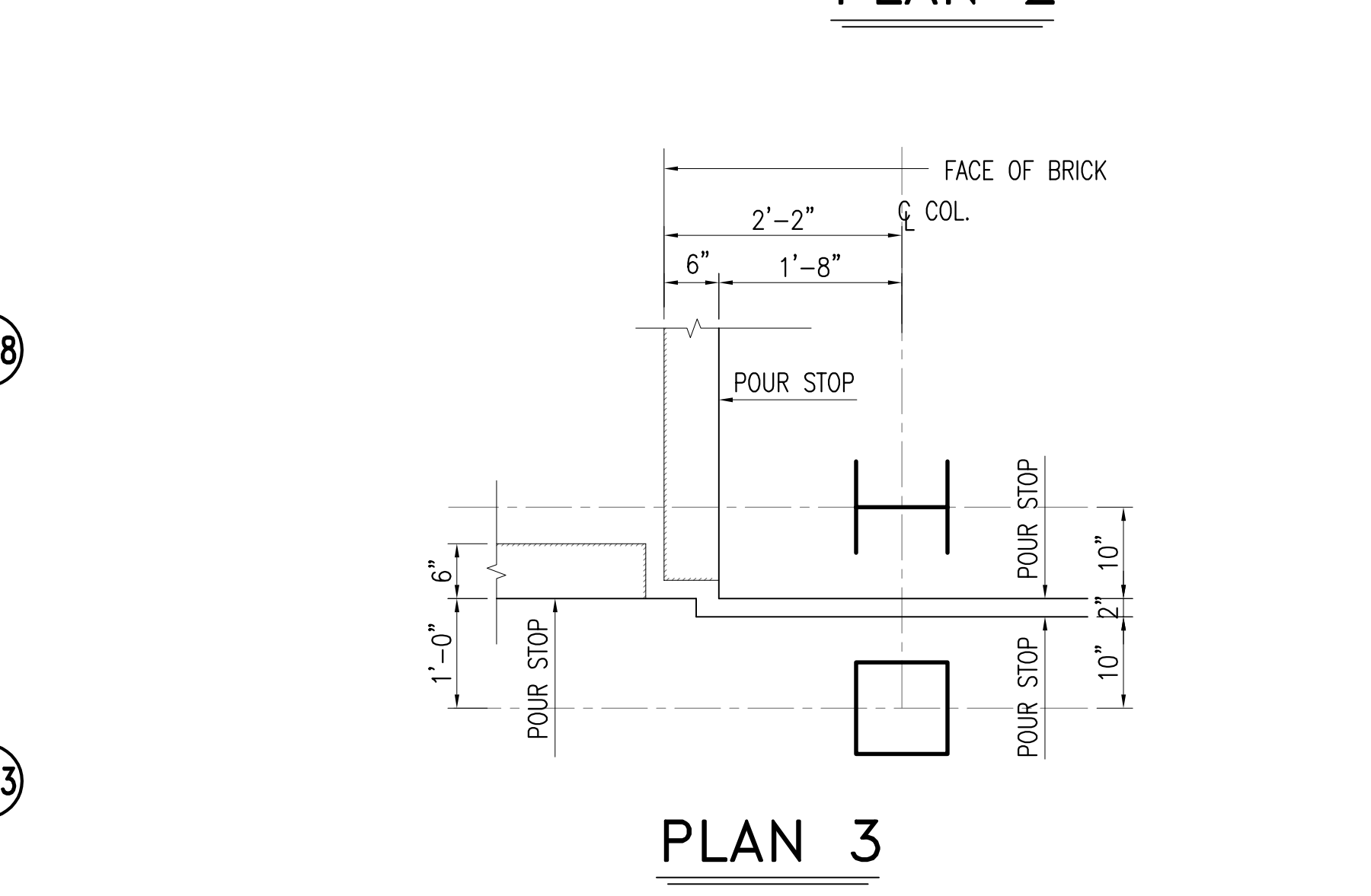
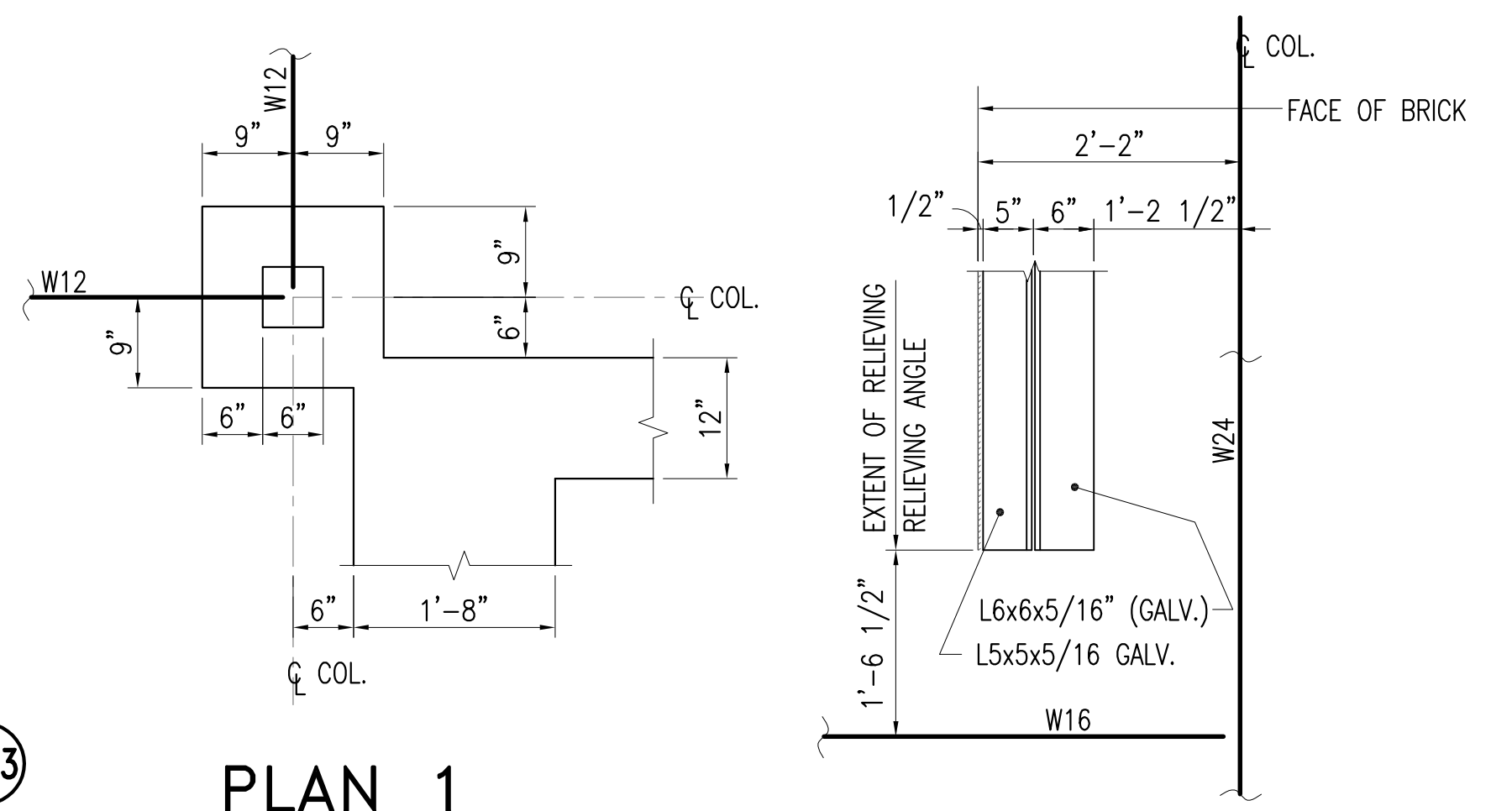
**BEARING PLATE SCHEDULE**

MARK	B	t	D
BP1	6"	1/2"	6"
BP2	10"	3/4"	8"
BP3	12"	1"	12"

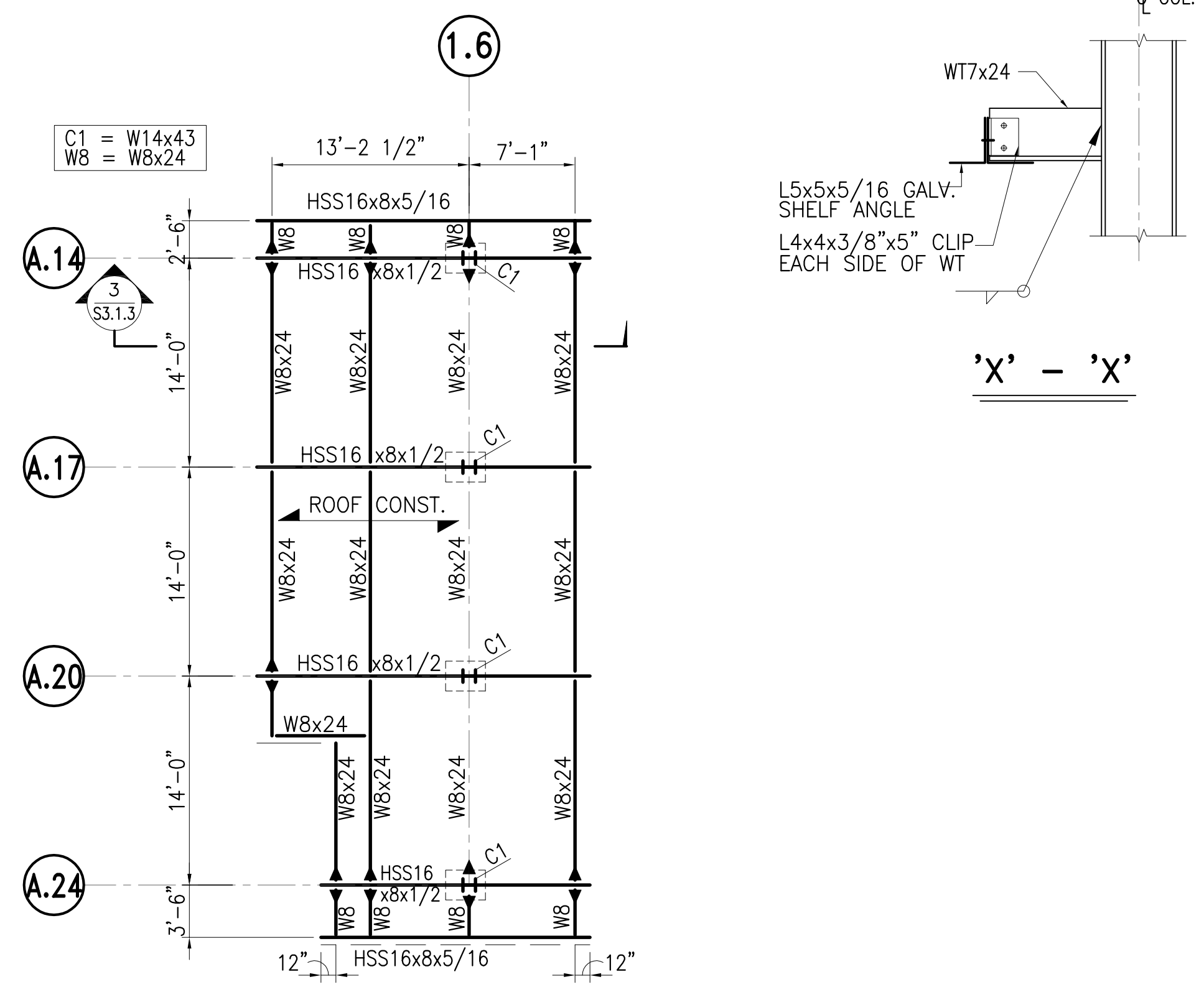
**SECOND FLOOR AND PART ROOF FRAMING PLAN AREA "A"**

SCALE: 1/8" = 1'-0" SECOND FLOOR SLAB EL. = 554.0'  
NOTES:

- ROOF CONST. = 3" TYPE "NS", 20 GAGE, GALVANIZED METAL ROOF DECK BY UNITED STEEL DECK INC. OR APPROVED EQUAL (3 SPANS MIN.)
- FLOOR CONST. = 3 1/2" LWT. CONC. SLAB (SOLITE AGGREGATE) W/6 x 6 - W14 x W14 W.W.M. ON 2" LOK-FLOOR, 18 GAGE, GALVANIZED METAL FLOOR DECK BY UNITED STEEL DECK INC. OR APPROVED EQUAL (2 SPANS MINIMUM)
- UNLESS NOTED OTHERWISE, TOP OF ALL STEEL SHALL BE AT ELEVATION 553'-6 1/2" (TRUE).
- [± -] INDICATES TOP OF STEEL ELEVATION MEASURED FROM ELEVATION 553'-6 1/2".
- (-) INDICATES 3/4" x 4" HIGH HEADED STUDS, UNLESS SHOWN OTHERWISE, SPACE STUDS EQUALLY OVER THE BEAM SPAN.
- <>- INDICATES BEAM UPWARD CAMBER.
- L1 = L 5 x 5 x 3/8" AROUND OPENINGS
- THIS WALL IS DESIGNED AS BASEMENT WALL, IF CONTRACTOR CHOOSES TO BACK FILL THE WALL PRIOR TO POURING OF SLAB ON M.D., BRACING/SHORING OF THIS WALL WILL BE REQUIRED.
- THIS CONCRETE WALL IS DESIGNED AS RETAINING WALL, BRACING OF THIS WALL IS NOT REQUIRED, IF THE HEIGHT OF BACK FILL IS 10'-0" OR LESS, IF HEIGHT OF BACK FILL EXCEEDS 10'-0" PROVIDE BRACING FOR BACK FILLING, NO HEAVY EQUIPMENT CAN OPERATE WITHIN 5'-0" OF WALL, THIS BACK FILLING AND COMPACTION MUST BE DONE MANUALLY.
- U.N.O. ON PLAN, REFER TO ROOF FRAMING PLAN FOR COLUMN SIZE INFORMATION.
- COLUMN SHOWN THUS "O" ON PLAN ARE REQUIRED TO BE FIRE TROLLED BELOW FLOOR. CO-ORDINATE WITH ARCHITECTURAL DRAWINGS FOR EXTENTS.
- ▶ INDICATES MOMENT CONNECTION. FOR MAGNITUDE REFER TO MOMENT CONNECTION SCHEDULE THIS DWG.
- ⊙ INDICATES COLUMN ABOVE.
- ⊙ INDICATES COLUMN BELOW.
- PROVIDE HANGERS FOR ALL HUNG LINTELS MINIMUM 12" FROM THE CORNER.
- AT ALL CORNERS MITER AND WELD RELIEVING ANGLE AND FLOOR BENT PLATES.



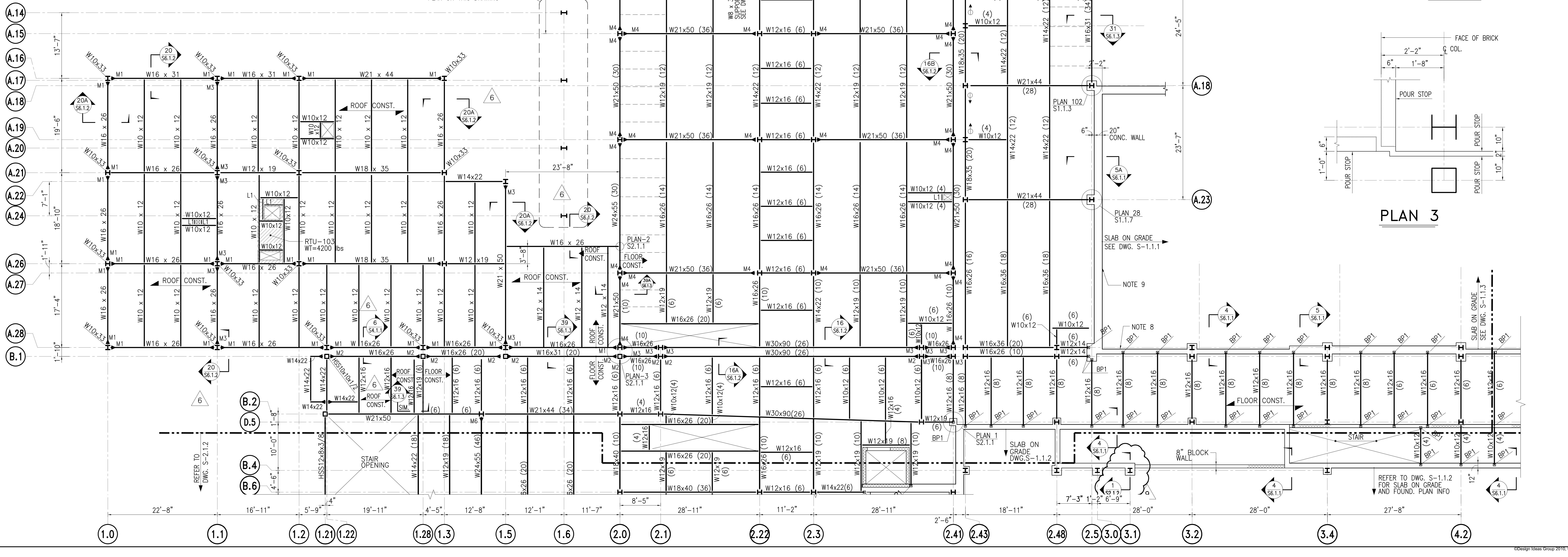
**PLAN 101**



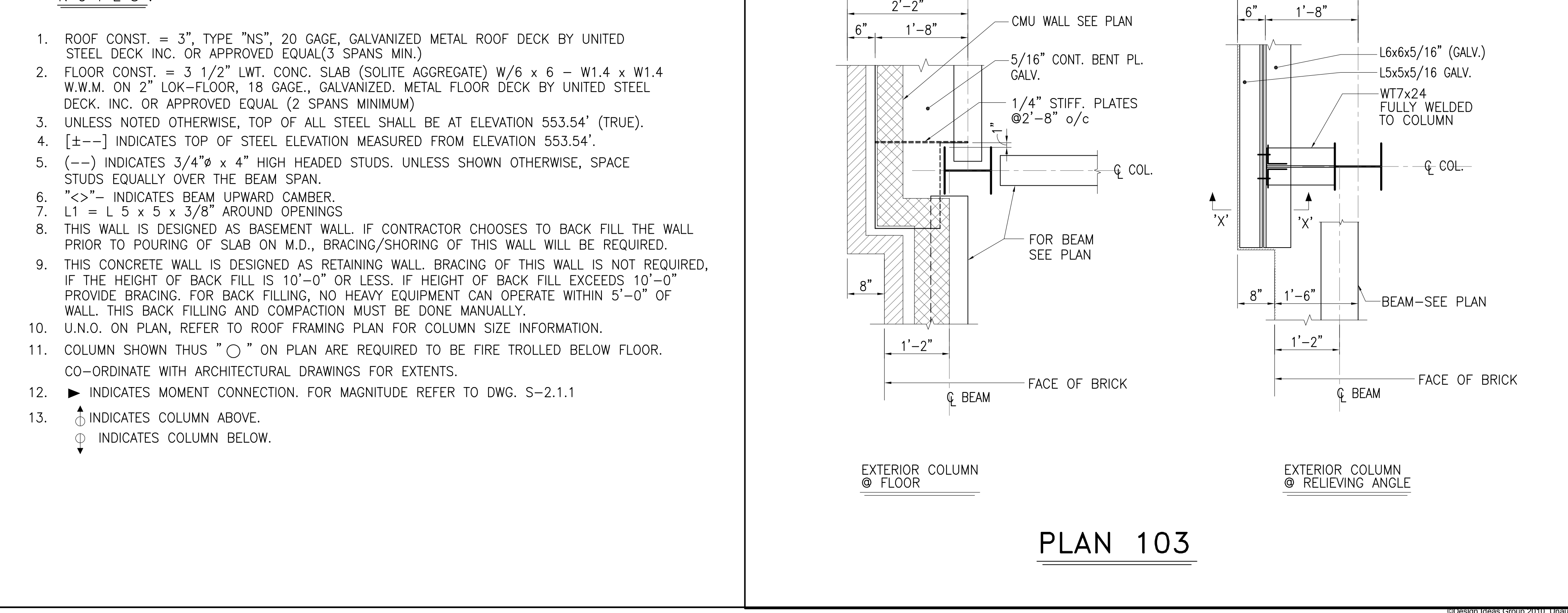
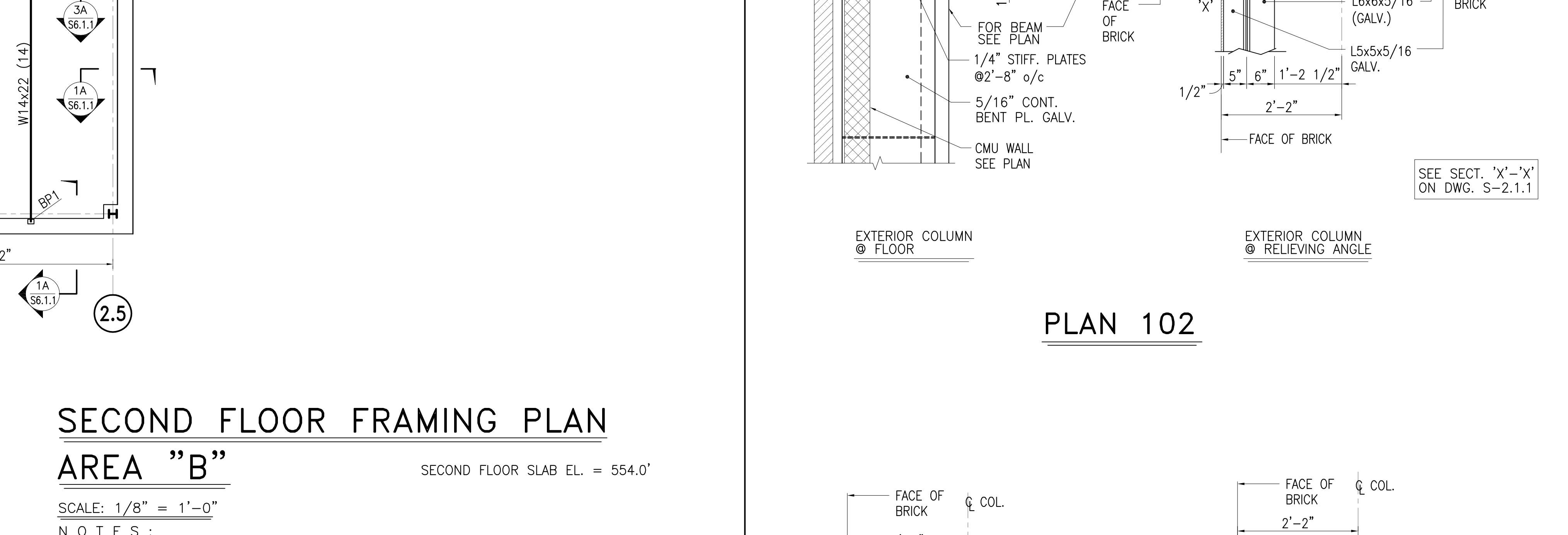
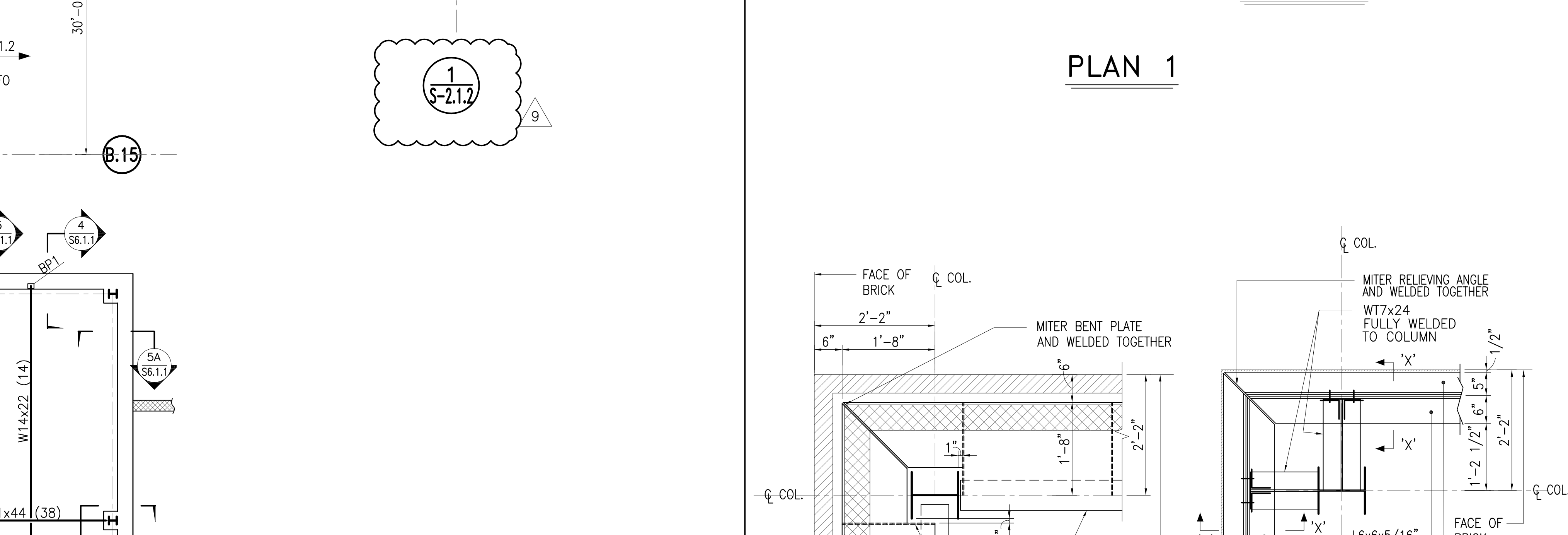
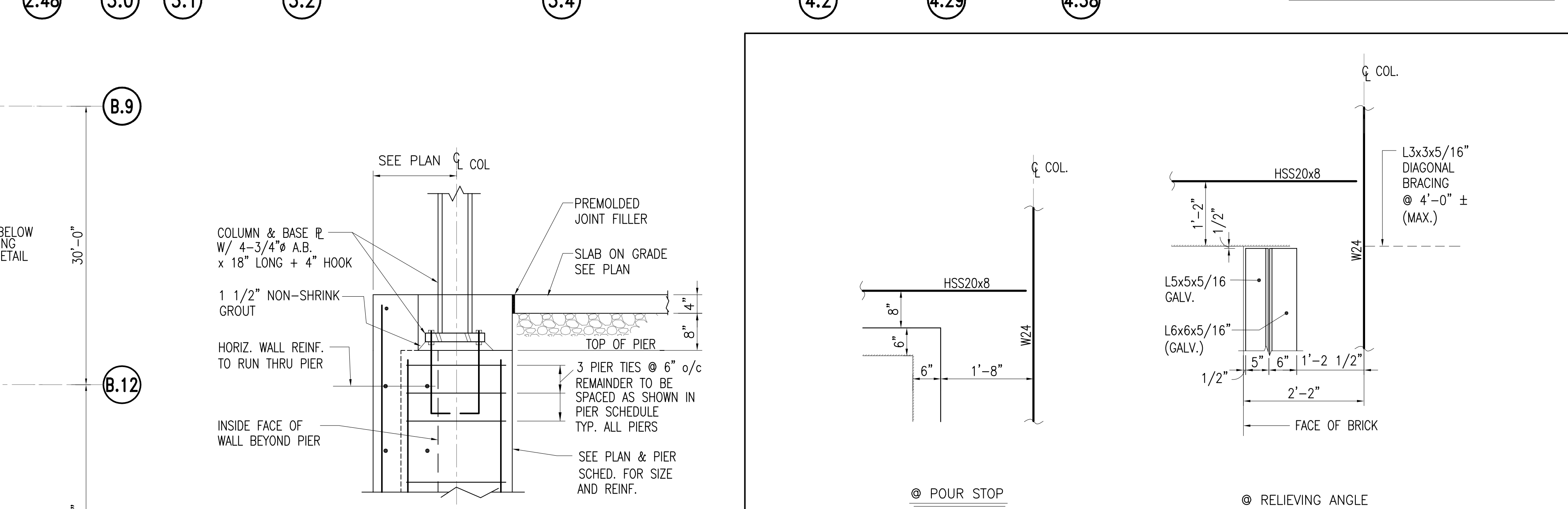
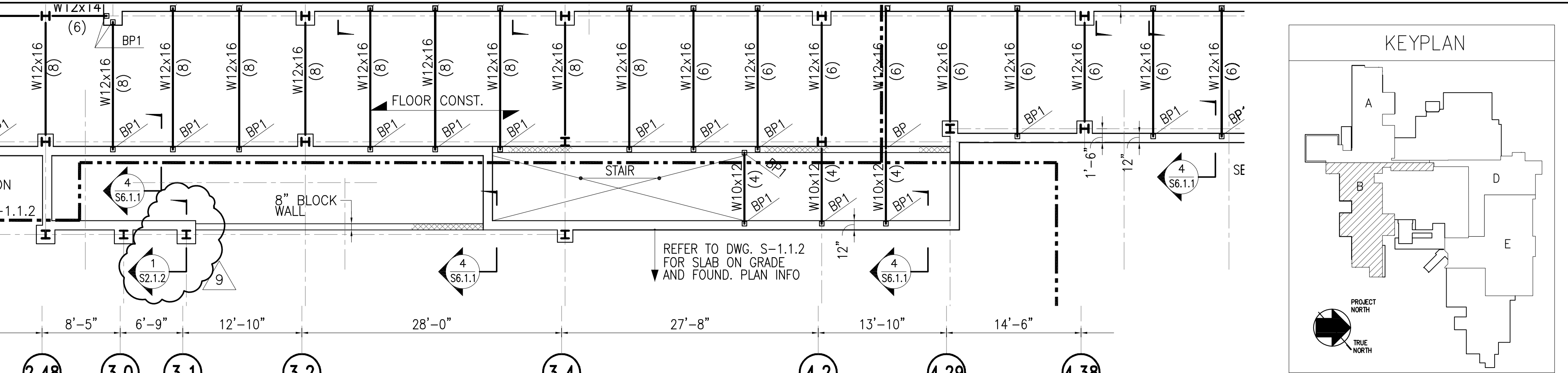
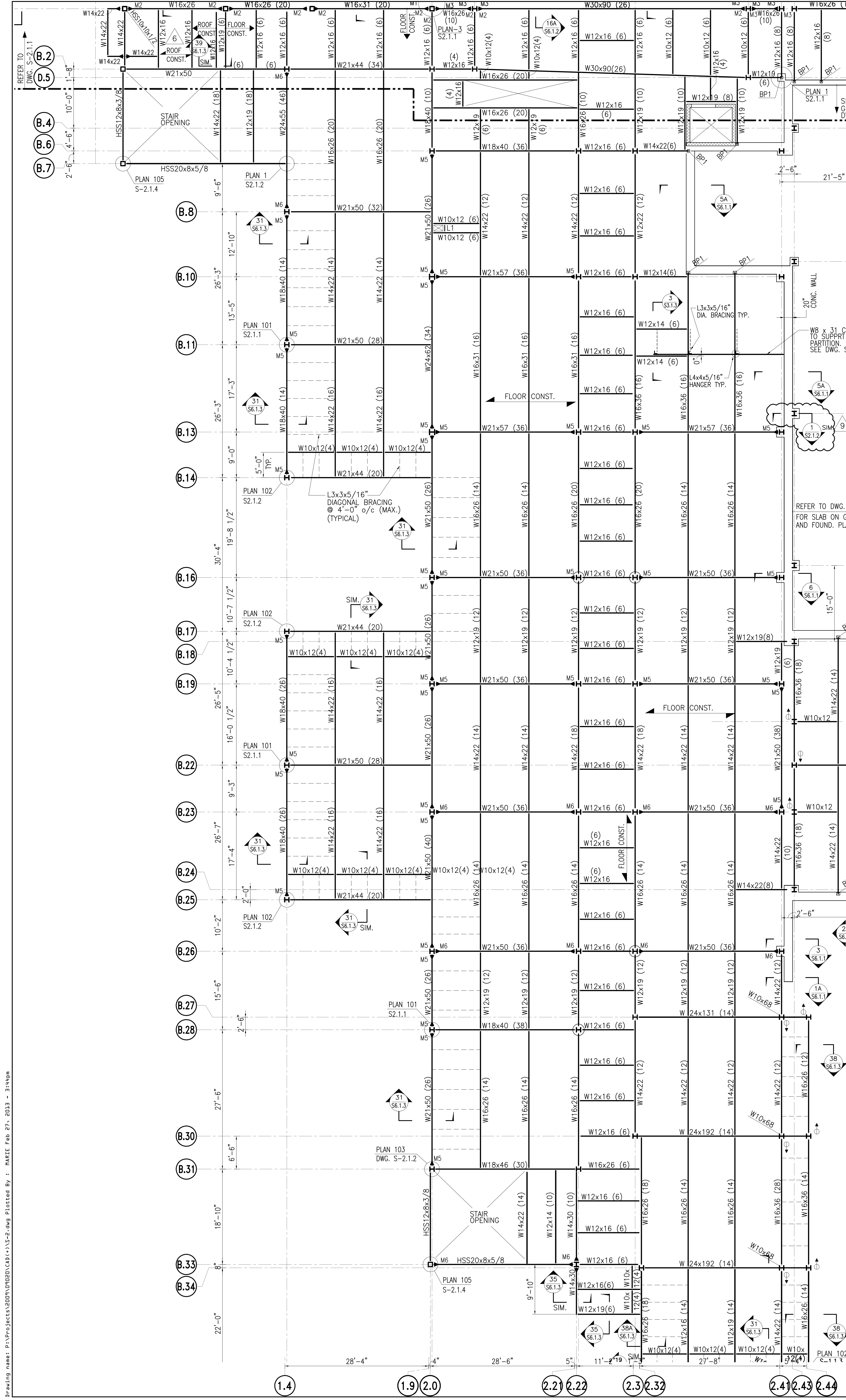
**CANOPY FRAMING PLAN AREA "A"**

T.O.S. ELEV. 556.00' (TRUE)  
SCALE: 1/8" = 1'-0"

- ROOF CONST. = 3" TYPE "NS", 22 GAGE, GALVANIZED METAL ROOF DECK BY UNITED STEEL DECK INC. OR APPROVED EQUAL (3 SPANS)
- ALL STRUCTURAL STEEL SHALL BE PRIMED WITH 2 COATS OF RUST INHIBITIVE PRIMER. COORDINATE WITH ARCHITECTURAL DRAWINGS FOR FINISH COAT OF PAINT TO BE APPLIED. RUST INHIBITIVE PRIMER MUST BE COMPATIBLE WITH FINISH PAINT.

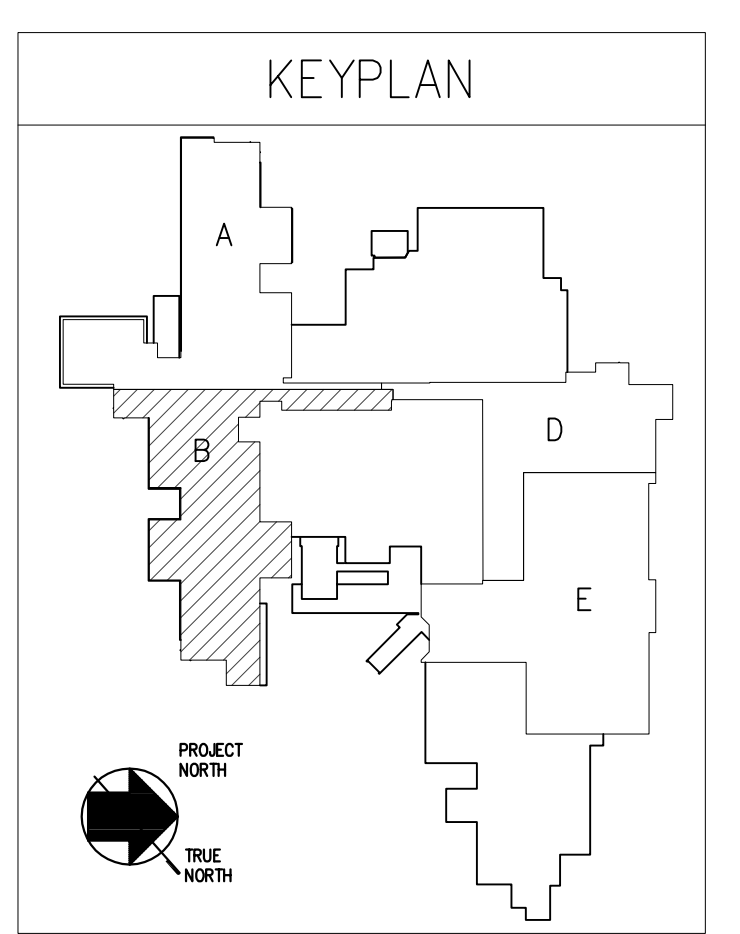






**SECOND FLOOR FRAMING PLAN**  
**AREA "B"**  
 SECOND FLOOR SLAB EL. = 554.0'  
 SCALE: 1/8" = 1'-0"  
 NOTES:

- ROOF CONST. = 3" TYPE "NS", 20 GAGE, GALVANIZED METAL ROOF DECK BY UNITED STEEL DECK INC. OR APPROVED EQUAL (3 SPANS MIN.)
- FLOOR CONST. = 3 1/2" LWT. CONC. SLAB (SOLITE AGGREGATE) W/ 5 x 6 - W1.4 x W1.4 W.I.M. ON 2" LOK-FLOOR; 18 GAGE, GALVANIZED METAL FLOOR DECK BY UNITED STEEL DECK, INC. OR APPROVED EQUAL (2 SPANS MINIMUM)
- UNLESS NOTED OTHERWISE, TOP OF ALL STEEL SHALL BE AT ELEVATION 553.54' (TRUE).
- [+ -] INDICATES TOP OF STEEL ELEVATION MEASURED FROM ELEVATION 553.54'.
- (- -) INDICATES 3/4" x 4" HIGH HEADED STUDS, UNLESS SHOWN OTHERWISE, SPACE STUDS EQUALLY OVER THE BEAM SPAN.
- < > - INDICATES BEAM UPWARD CAMBER.
- L1 = L 5 x 5 x 3/8" AROUND OPENINGS.
- THIS WALL IS DESIGNED AS BASEMENT WALL. IF CONTRACTOR CHOOSES TO BACK FILL THE WALL PRIOR TO POURING OF SLAB ON M.D., BRACING/SHORING OF THIS WALL WILL BE REQUIRED.
- THIS CONCRETE WALL IS DESIGNED AS RETAINING WALL. BRACING OF THIS WALL IS NOT REQUIRED, IF THE HEIGHT OF BACK FILL IS 10'-0" OR LESS. IF HEIGHT OF BACK FILL EXCEEDS 10'-0" PROVIDE BRACING. FOR BACK FILLING, NO HEAVY EQUIPMENT CAN OPERATE WITHIN 5'-0" OF WALL. THIS BACK FILLING AND COMPACTION MUST BE DONE MANUALLY.
- U.N.O. ON PLAN, REFER TO ROOF FRAMING PLAN FOR COLUMN SIZE INFORMATION.
- COLUMN SHOWN THUS "O" ON PLAN ARE REQUIRED TO BE FIRE TROLLED BELOW FLOOR. CO-ORDINATE WITH ARCHITECTURAL DRAWINGS FOR EXTENTS.
- ▶ INDICATES MOMENT CONNECTION. FOR MAGNITUDE REFER TO DWG. S-2.1.1
- ▲ INDICATES COLUMN ABOVE.
- INDICATES COLUMN BELOW.



SUBMISSION	DATE
ADDENDUM #2 (RE-BID)	03-01-13
ADDENDUM #1	11-21-12
NJSDA REVISIONS	09-12-12
NJDCA COMMENTS	03-04-11
NJDCA COMMENTS	08-12-10
NJDCA COMMENTS	05-17-10
NJDCA COMMENTS	02-12-10
DATE:	OCTOBER 13, 2009
SCALE:	

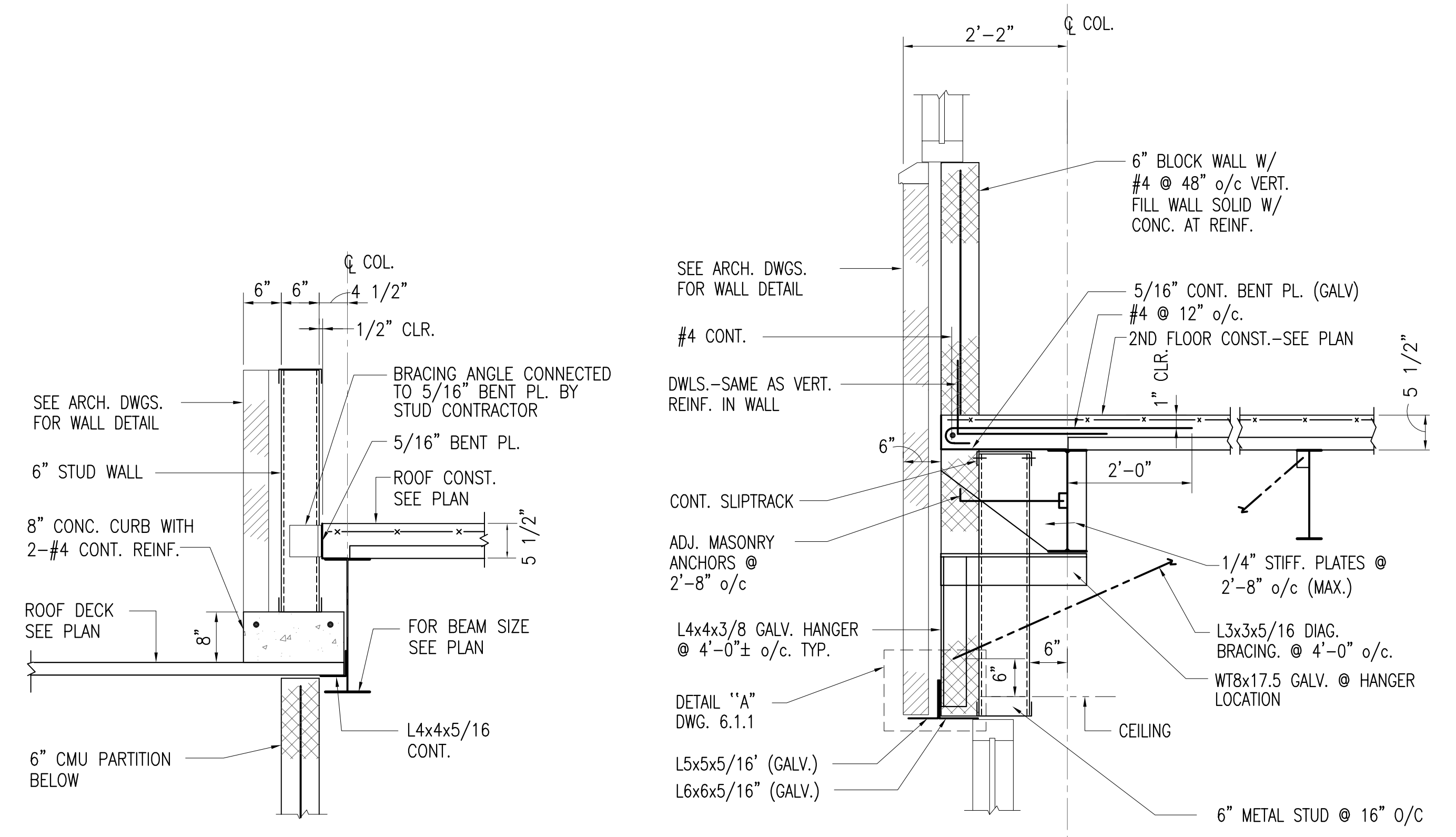


SUBMISSION	DATE
ADDENDUM #2 (RE-BID)	03-01-13
ADDENDUM #1	11-21-12
NJSDA REVISIONS	09-12-12
NJDC COMMENTS	03-04-11
NJDC COMMENTS	08-12-10
NJDC COMMENTS	05-17-10
NJDC COMMENTS	02-12-10
DATE:	OCTOBER 13, 2009
SCALE:	

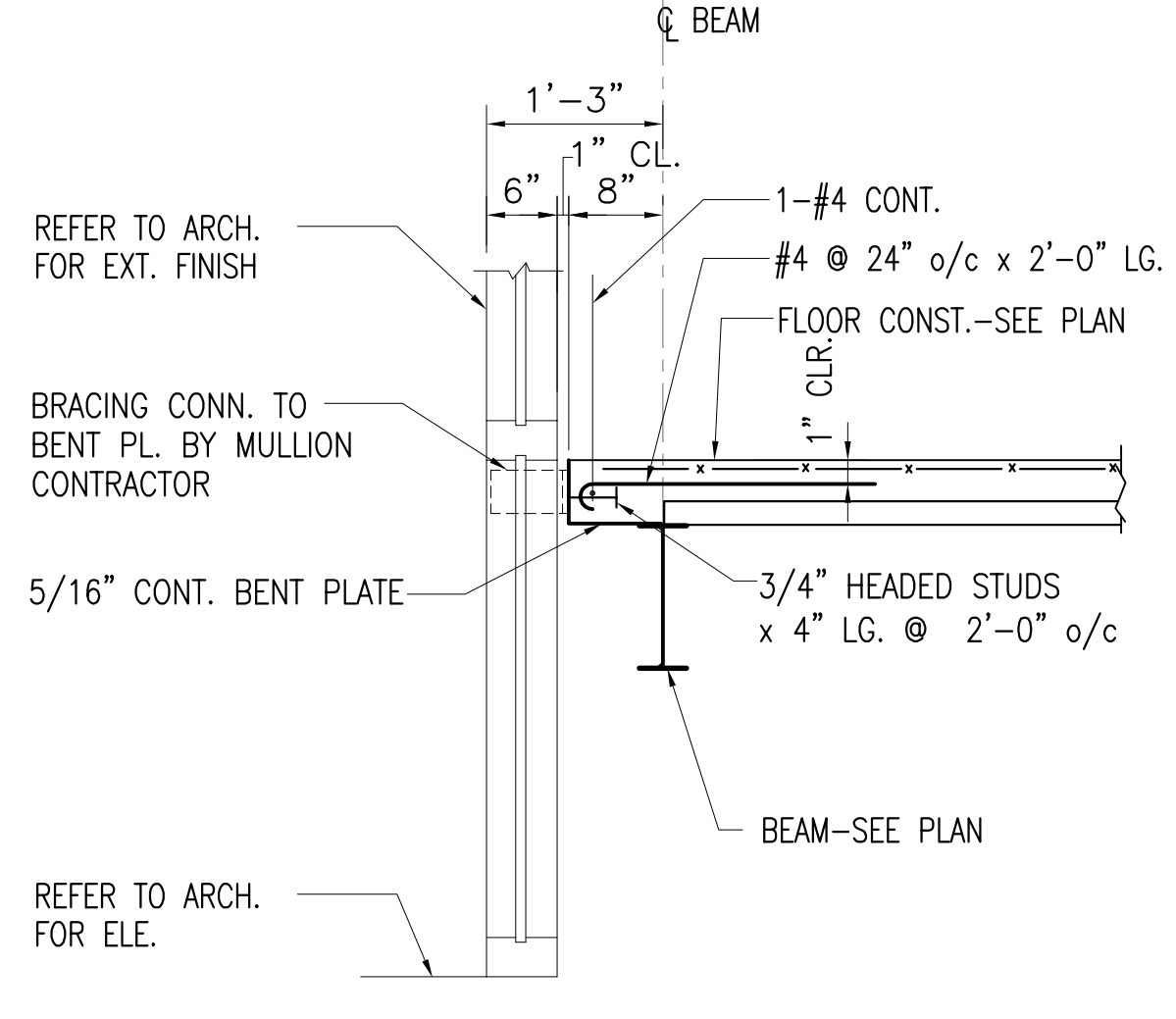
DRAWING TITLE:  
**ROOF SECTIONS**

DRAWING No:  
**S-6.1.3**

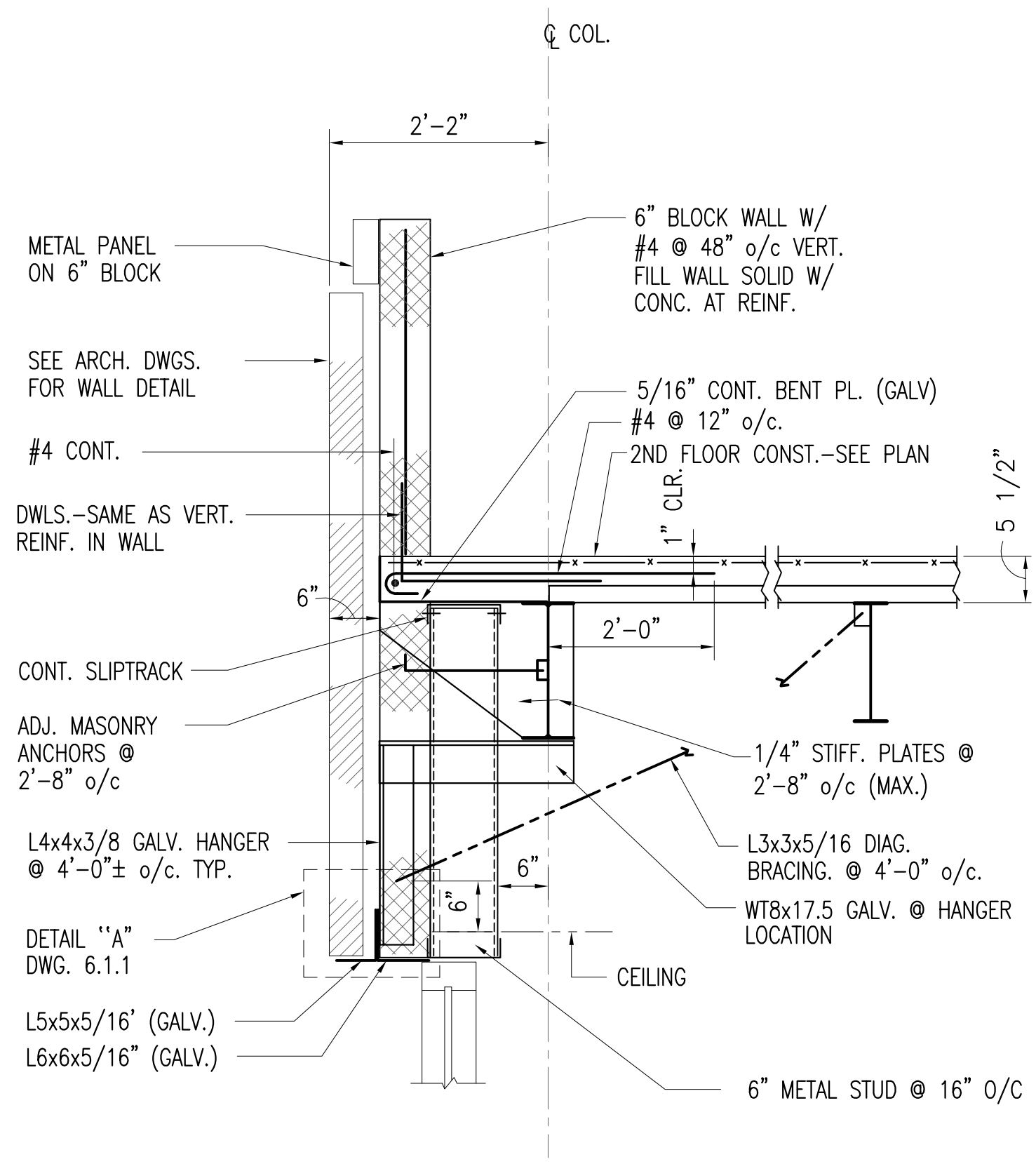
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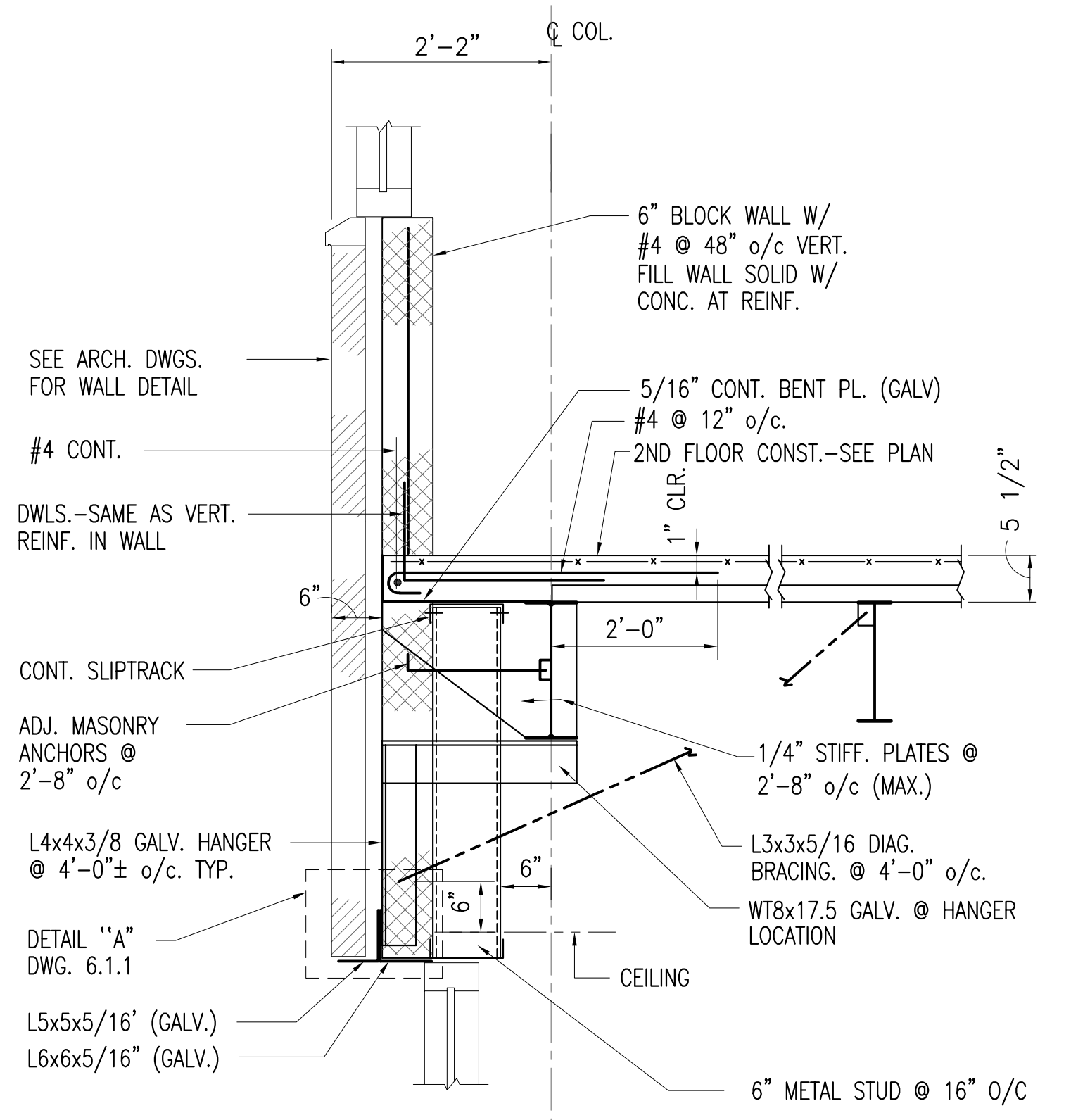
**30**  
S-6.1.3



**35**  
S-6.1.3



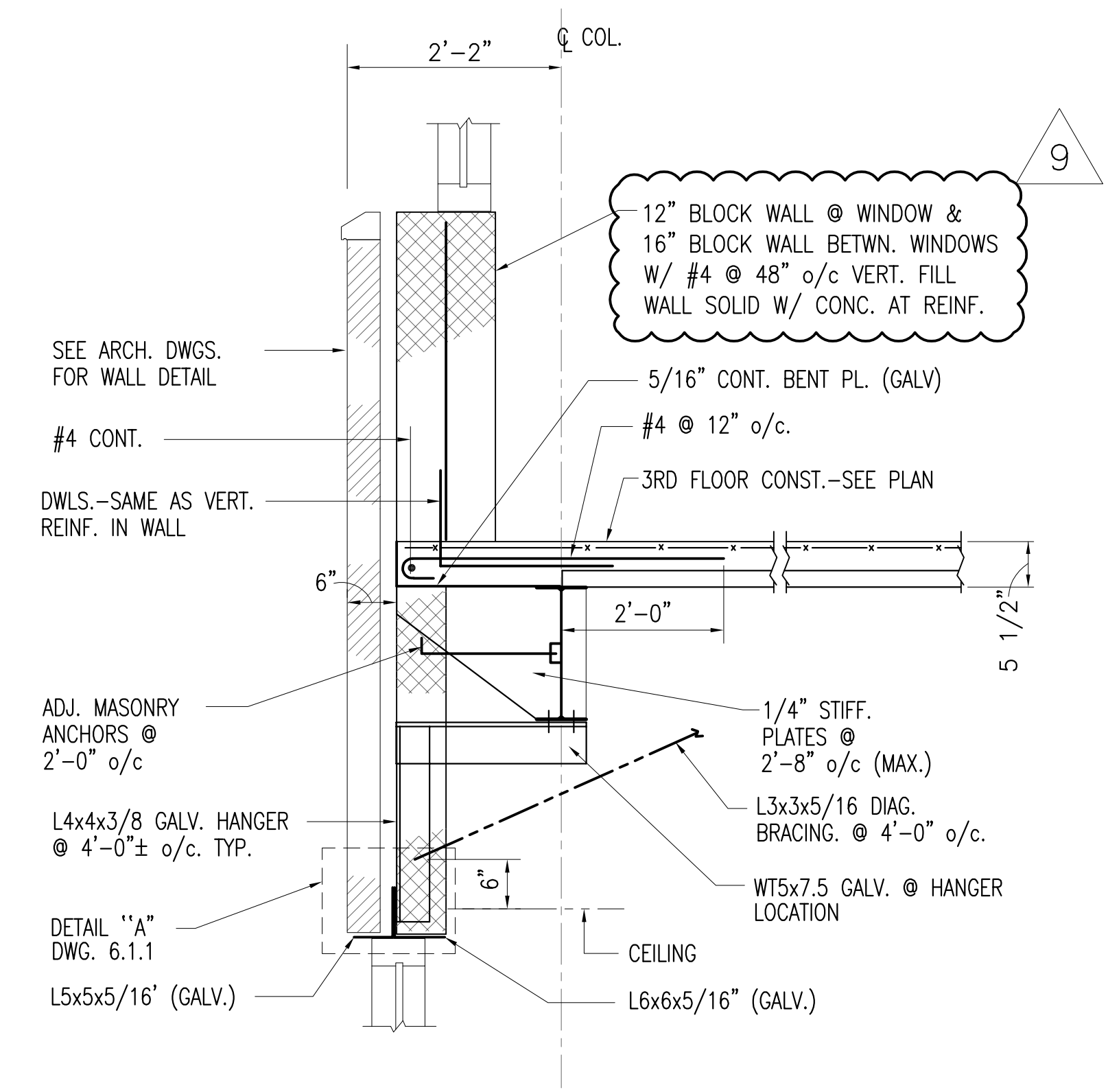
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S-6.1.3



**31**  
S-6.1.3

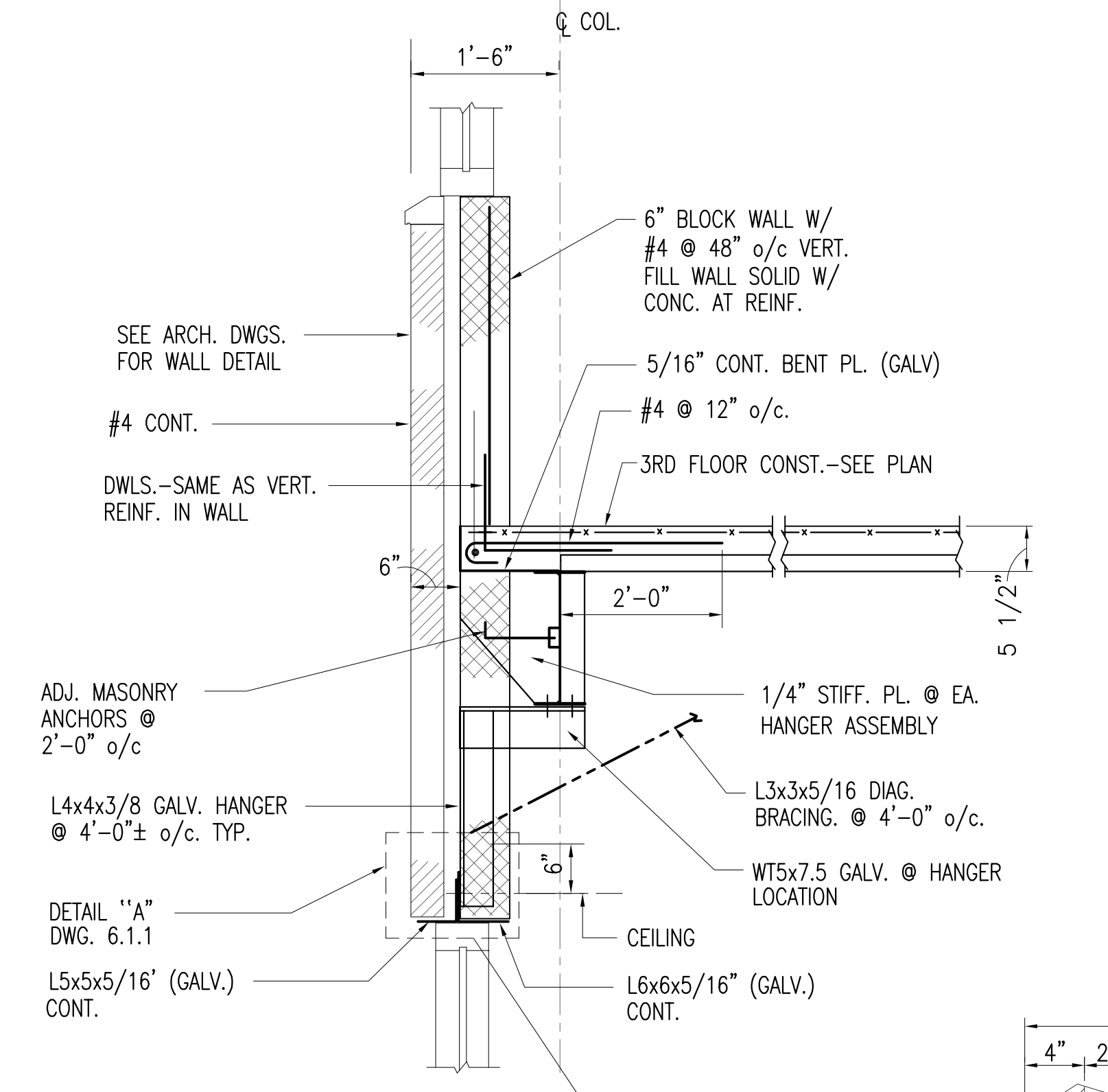
PROVIDE VERT. AND HORIZ. ADJUSTMENT IN HANGER ASSEMBLY, WELD AFTER FINAL ADJUSTMENT. TYP. ALL HUNG LINTELS

**31A**  
S-6.1.3



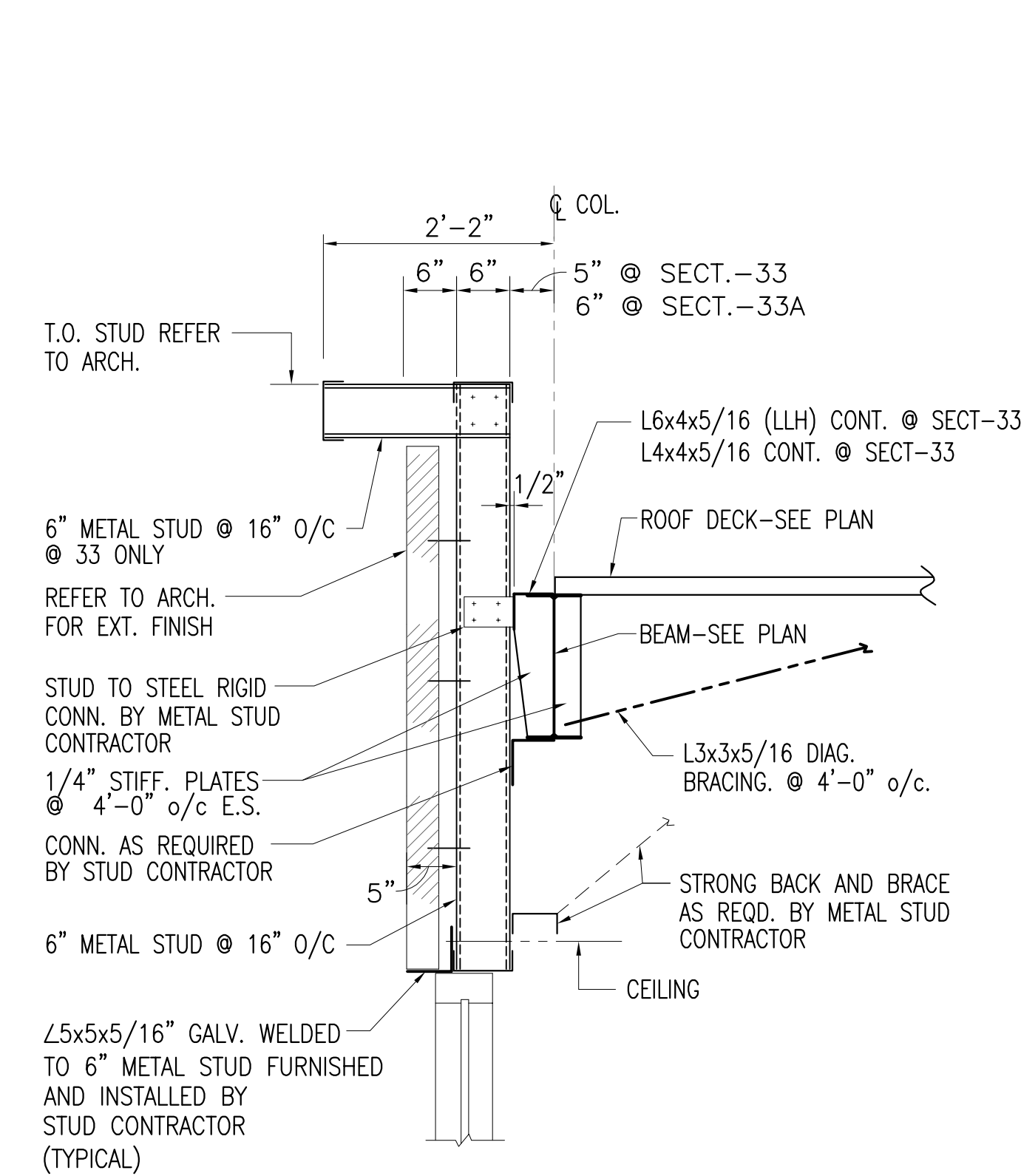
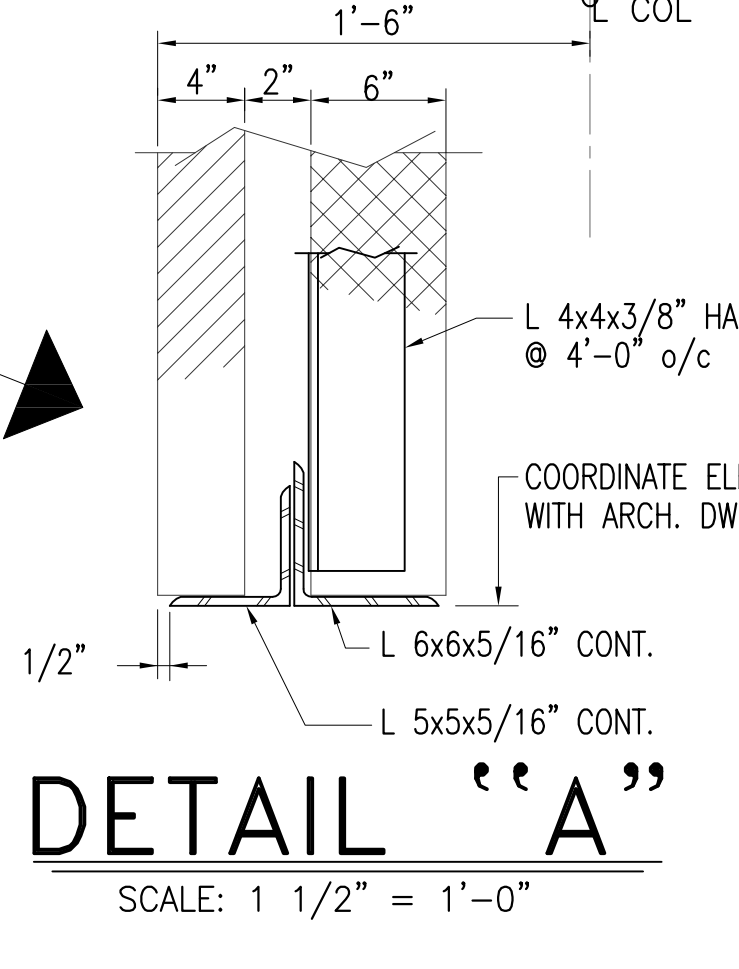
**32**  
S-6.1.3

**32A**  
S-6.1.3



**37**  
S-6.1.3

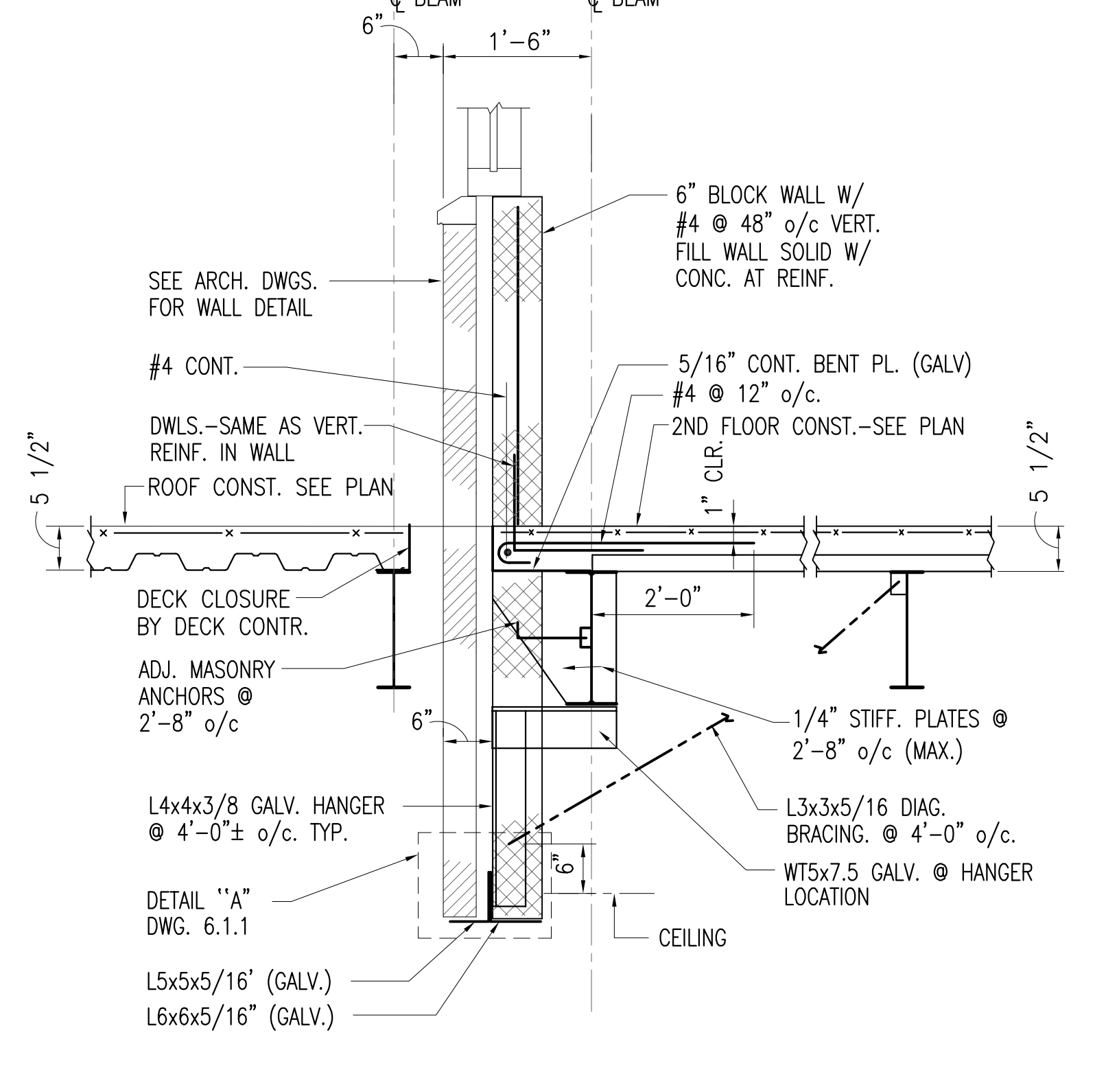
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S-6.1.3



**33**  
S-6.1.3

**33A**  
S-6.1.3

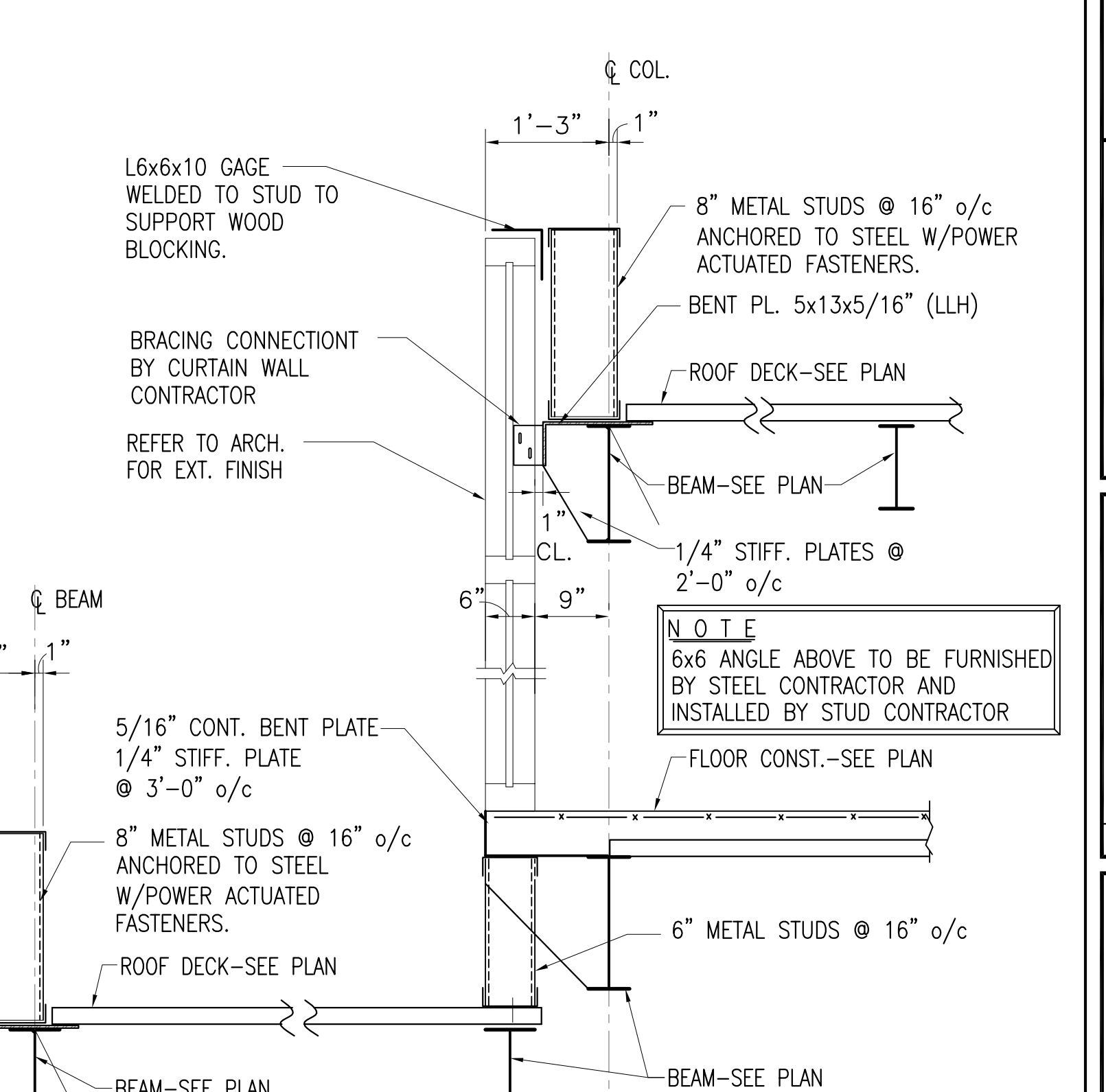
DECK RUN IN OPPOSITE DIRECTION



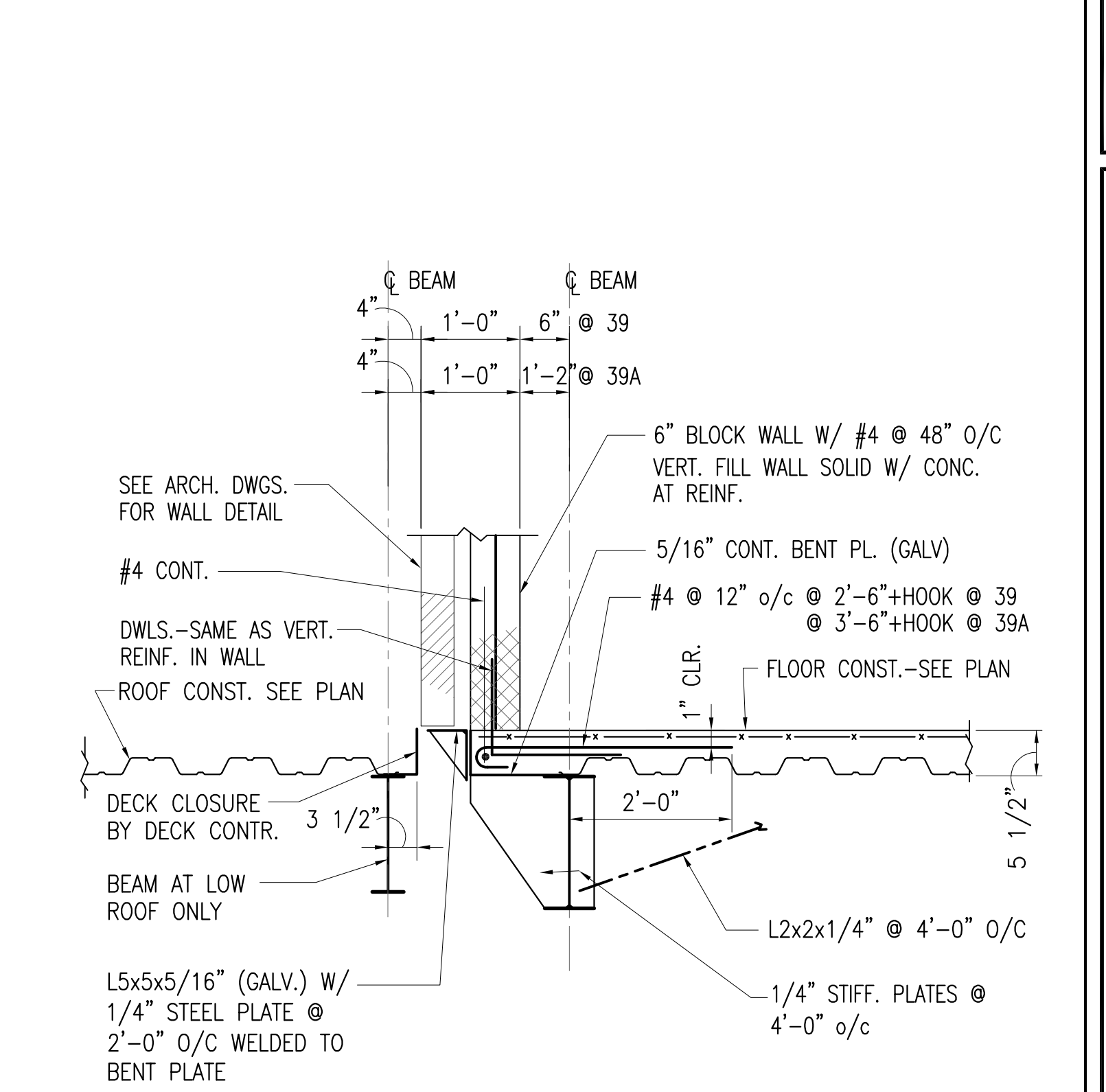
**38**  
S-6.1.3

**38A**  
S-6.1.3

PROVIDE VERT. AND HORIZ. ADJUSTMENT IN HANGER ASSEMBLY, WELD AFTER FINAL ADJUSTMENT. TYP. ALL HUNG LINTELS



**34**  
S-6.1.3



**39**  
S-6.1.3

**39A**  
S-6.1.3

DECK CHANGES DIRECTION