
ADDENDUM NO. 01

DATE: March 6, 2023

CONTRACT NO.: ES-0043-C02

PROJECT: Orange - Cleveland Street Elementary School – Addition and Renovation

This addendum shall be considered part of the Bid Documents issued in connection with the referenced project. Should information conflict with the Bid Documents, this Addendum shall supersede the relevant information in the Bid Documents.

A. CHANGES TO THE PROCUREMENT PROCESS:

1. Modifications to the Advertisement and Associated Documents

(Not applicable)

B. CHANGES TO VOLUME 1 OF THE PROJECT MANUAL

1. Modifications to the General Requirements

(Not applicable)

2. Modifications to the Attachments

- a. Supplementary Requirement ATT. 1.03 As-Built Conditions at Cleveland Street ES.pdf shall not be utilized for bidding purposes. Instead, refer to 2023-02-10 Cleveland ASBUILT SET which was included with the bid documents.

C. CHANGES TO VOLUME 2 OF THE PROJECT MANUAL

(Not applicable)

D. CHANGES TO THE DRAWINGS

1. **REPLACE:** The following drawings issued for bid dated 01/20/2023 shall be deleted and replaced with the following revised drawings dated 02/23/2023, issued herewith as Attachment 1.01 through 1.21:

- a. **AS-BUILT DRAWINGS**

ABS-2.05 As-Build Roof Plan
AB.E1 Electrical As-Built Plan

- b. **STRUCTURAL DRAWINGS**

S-2.01 Proposed Foundation Plan
S-2.02 Prop. First Floor Plan
S-2.03 Prop. Second Floor Plan
S-3.03 Foundation Sections 3
S-4.01 Typical Steel Details
S-4.03 Section Details

- c. **ARCHITECTURAL DRAWINGS**

A1.01 Demolition Plan – Ground Floor
A1.04 Demolition Plan – Attic Plan
A1.05 Demolition Plan – Roof Plan
A2.01 Ground Floor Proposed Plan
A2.02 First Floor Proposed Plan
A2.03 Second Floor Proposed Plan
A2.04 Proposed Attic Plan
A2.05 Proposed Roof Plan
A4.04 Partial Building Sections
A5.01 Reflected Ceiling Plan - Ground Floor
A6.12 Roof Details
A8.01 Ground Fl Equipment/Furniture Plan
A9.06 Millwork Elevations and Details

E. BIDDER'S QUESTIONS, REQUESTS FOR INFORMATION AND RESPONSES

(Not applicable)

F. CHANGES TO PREVIOUS ADDENDA:

Addendum No. 01
Project #: ES-0043-C02

(Not applicable)

G. ATTACHMENTS:

- Attachment 1.01 Drawing ABS-2.05 As-Built Roof Plan, Revised 02-23-2023
- Attachment 1.02 Drawing AB.E1 Electrical As-Built Plan, Revised 02-23-2023
- Attachment 1.03 Drawing S-2.01 Proposed Foundation Plan, Revised 02-23-2023
- Attachment 1.04 Drawing S-2.02 Prop. First Floor Plan, Revised 02-23-2023
- Attachment 1.05 Drawing S-2.03 Prop. Second Floor Plan, Revised 02-23-2023
- Attachment 1.06 Drawing S-3.03 Foundation Sections 3, Revised 02-23-2023
- Attachment 1.07 Drawing S-4.01 Typical Steel Details, Revised 02-23-2023
- Attachment 1.08 Drawing S-4.03 Sections & Details, Revised 02-23-2023
- Attachment 1.09 Drawing A1.01 Demolition Plan – Ground Floor, Revised 02-23-2023
- Attachment 1.10 Drawing A1.04 Demolition Plan – Attic Plan, Revised 02-23-2023
- Attachment 1.11 Drawing A1.05 Demolition Plan – Roof Plan, Revised 02-23-2023
- Attachment 1.12 Drawing A2.01 Ground Floor Proposed Plan, Revised 02-23-2023
- Attachment 1.13 Drawing A2.02 First Floor Proposed Plan, Revised 02-23-2023
- Attachment 1.14 Drawing A2.03 Second Floor Proposed Plan, Revised 02-23-2023
- Attachment 1.15 Drawing A2.04 Proposed Attic Plan, Revised 02-23-2023
- Attachment 1.16 Drawing A2.05 Proposed Roof Plan, Revised 02-23-2023
- Attachment 1.17 Drawing A4.04 Partial Building Sections, Revised 02-23-2023
- Attachment 1.18 Drawing A5.01 Reflected Ceiling Plan – Ground Floor, Revised 02-23-2023
- Attachment 1.19 Drawing A6.12 Roof Details, Revised 02-23-2023
- Attachment 1.20 Drawing A8.01 Ground Fl Equipment Furniture Plan, Revised 02-23-2023
- Attachment 1.21 Drawing A9.06 Millwork Elevations and Details, Revised 02-23-2023

H. SUPPLEMENTAL INFORMATION

(Not applicable)

Any bidder attempting to contact government officials (elected or appointed), including NJSDA Board members, NJSDA Staff (except for Procurement), Selection Committee members, NJSDA Consultants, and School District officials for information relating to this project or in an effort to influence the selection process may be immediately disqualified.

End of Addendum No. 01



ADDENDUM NO. 01

DATE: March 6, 2023

CONTRACT NO.: ES-0043-C02

PROJECT: Orange – Cleveland Street Elementary School – Addition and Renovation

Acknowledgement of Receipt of Addendum

Contractor must acknowledge the receipt of the Addendum by signing in the space provided below and returning via email to Alison Perry at aperry@njsda.gov. Signed acknowledgement must be received prior to the Bid Due Date. Acknowledgement of the Addendum must be made in Section F.5 of the Price Proposal Submission.

Signature

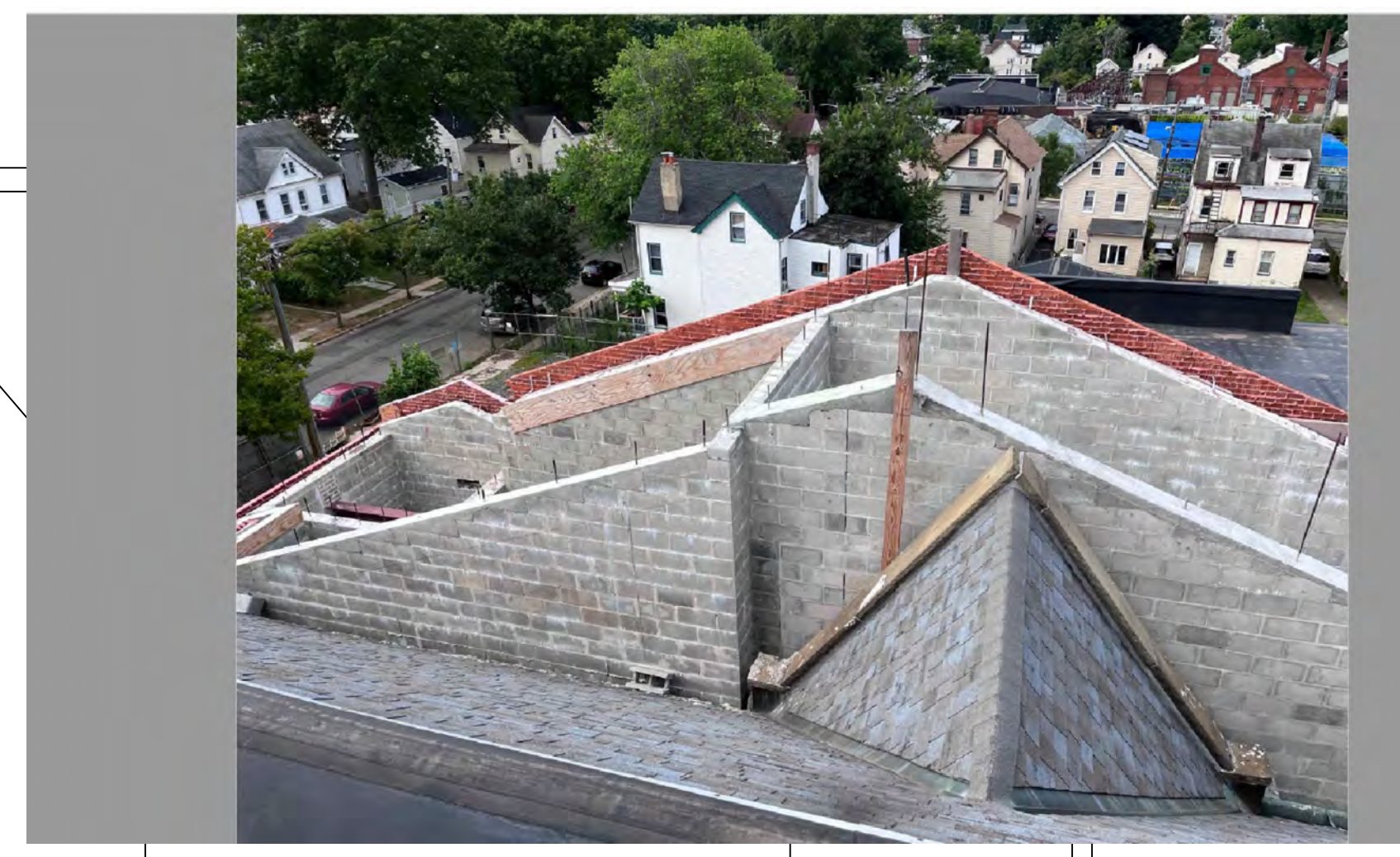
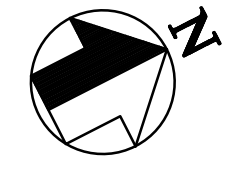
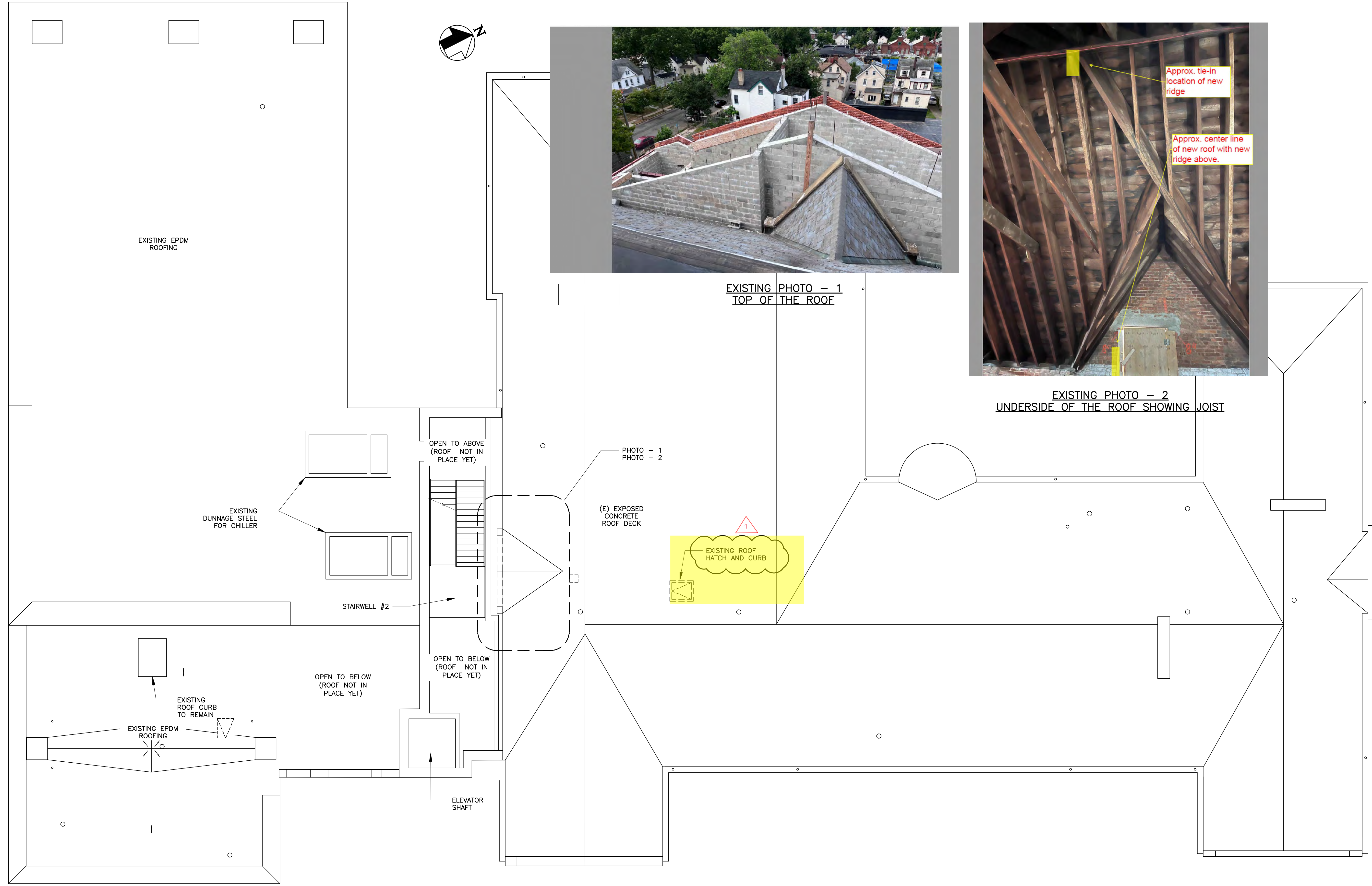
Print Name

Company Name

Date

A B C D E F G H J K L M N O

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EXISTING PHOTO - 1
TOP OF THE ROOF



EXISTING PHOTO - 2
UNDERSIDE OF THE ROOF SHOWING JOIST

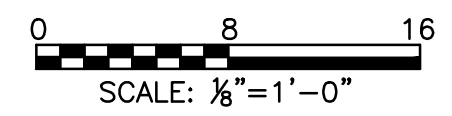
Approx. tie-in location of new ridge
Approx. center line of new roof with new ridge above.

PHOTO - 1
PHOTO - 2

(E) EXPOSED CONCRETE ROOF DECK

EXISTING ROOF HATCH AND CURB

AS-BUILT ROOF PLAN



Revisions:

1	Addendum #1	02/23/2023
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NY Certificate of Authorization	
Eng'r. No.	0278878
Arch. No.	AC124
Date	01/20/23
Checked	GA
Drawn	HD

REGISTERED ARCHITECT
KENNETH H. KARLE, R.A.
 License No. NU21A00890600

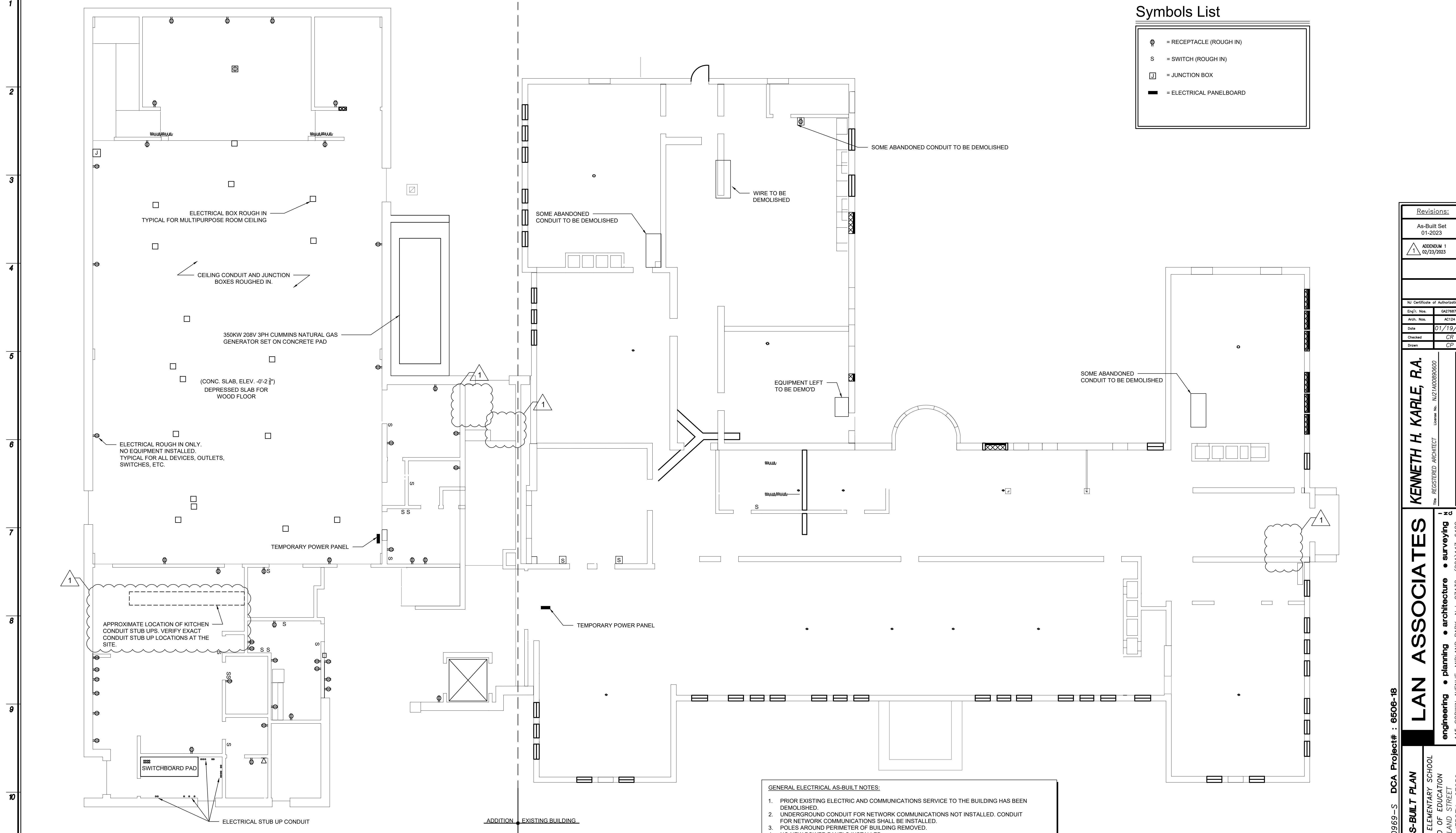
LAN ASSOCIATES
 engineering • planning • architecture • surveying
 445 GODWIN AVENUE, MIDLAND PARK, N.J. 07432 (201)447-6400

AS-BUILT ROOF PLAN
 CLEVELAND STREET ELEMENTARY SCHOOL
 ORANGE BOARD OF EDUCATION
 355 CLEVELAND STREET
 ORANGE, NEW JERSEY 07050

Job No. 20206.01
 File No.

ABS-2.05

State Project#: 3880-070-01-0969-S DCA PROJECT # : 6506-18

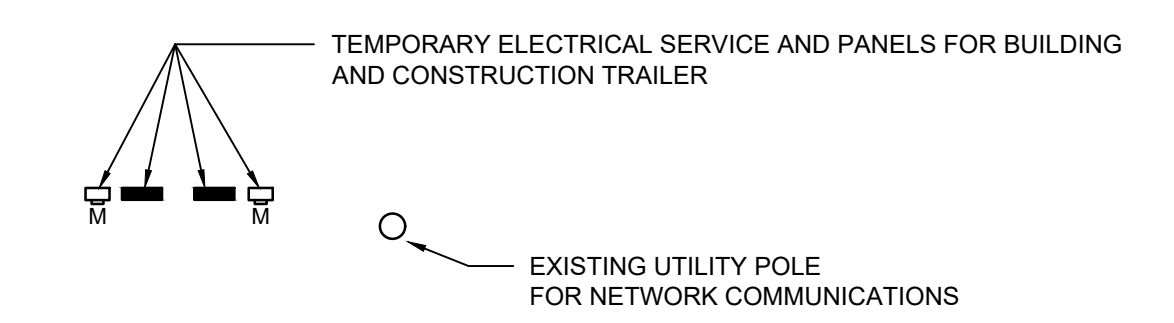
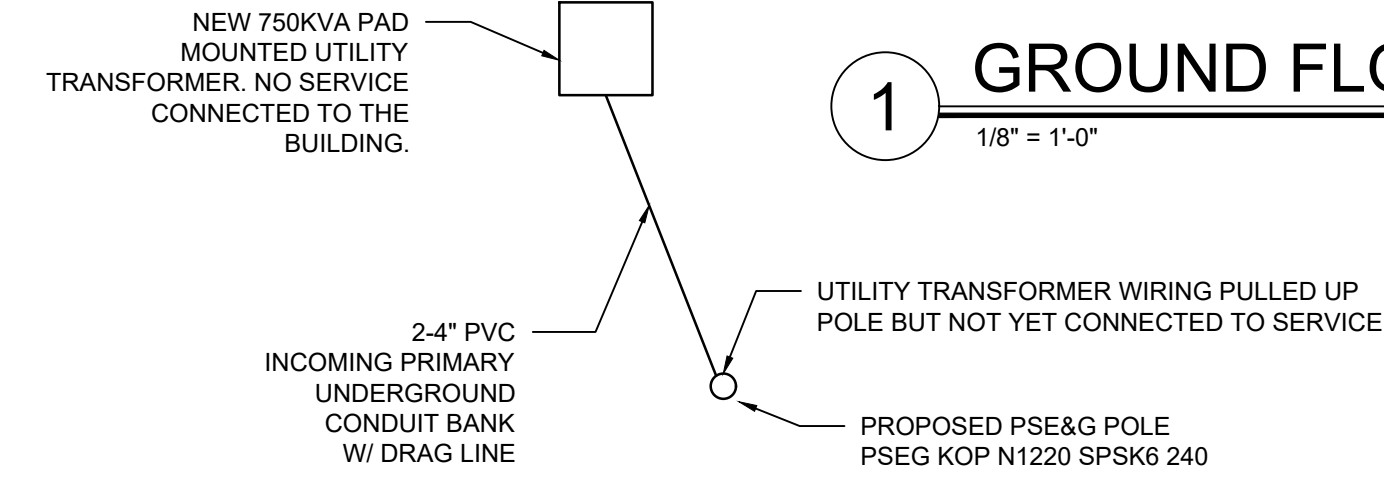


Symbols List

⊕	= RECEPTACLE (ROUGH IN)
S	= SWITCH (ROUGH IN)
J	= JUNCTION BOX
■	= ELECTRICAL PANELBOARD

1 GROUND FLOOR ELECTRICAL AS-BUILT PLAN

1/8" = 1'-0"



- GENERAL ELECTRICAL AS-BUILT NOTES:**
- PRIOR EXISTING ELECTRIC AND COMMUNICATIONS SERVICE TO THE BUILDING HAS BEEN DEMOLISHED.
 - UNDERGROUND CONDUIT FOR NETWORK COMMUNICATIONS NOT INSTALLED. CONDUIT FOR NETWORK COMMUNICATIONS SHALL BE INSTALLED.
 - POLES AROUND PERIMETER OF BUILDING REMOVED.
 - NO NEW POWER PANELS INSTALLED.
 - MOST ELECTRICAL WORK IN EXISTING BUILDING HAS BEEN DEMOLISHED. NO NEW ELECTRICAL WORK ROUGHED IN OR INSTALLED. ONLY TEMPORARY POWER AND LIGHTING CONNECTED IN EXISTING BUILDING.
 - DEACTIVATED FIRE ALARM DEVICES EXIST IN THE ATTIC OF THE BUILDING AND SHALL BE DEMOLISHED.
 - SWITCHGEAR IS ONSITE STORED IN MULTI-PURPOSE ROOM. YET TO BE SET ON PAD. CONTRACTOR TO VERIFY EXACT LOCATION AT SITE.
 - REFER TO EPIC'S STORED MATERIAL DOCUMENTATION PLAN FOR ELECTRICAL MATERIAL AND EQUIPMENT STORED AT SITE.
 - LOCATION OF TEMPORARY PANELS ARE SHOWN ON THIS DRAWING. CONTRACTOR TO VERIFY EXACT LOCATION AT SITE.
 - SEE ARCHITECTURAL DRAWING FOR EXACT LAYOUT OF NEW WALLS THAT ARE NOT PRESENTLY INSTALLED AT SITE.
 - SEE ARCHITECTURAL DRAWING FOR STAIRS IN VESTIBULE AND STAGE THAT ARE NOT INSTALLED AT SITE AT THIS TIME.
 - SEE ARCHITECTURAL DRAWINGS FOR NEW EXTERIOR STAIRS AT WEST ELEVATION OF THE EXISTING BUILDING THAT ARE NOT INSTALLED AT SITE AT THIS TIME.
 - SEE ARCHITECTURAL DRAWINGS FOR DETAILED INFORMATION ON THE NEW RESTROOM IN THE EXISTING BUILDING.

State Project#: 3880-070-01-0969-S DCA Project#: 6506-18

ELECTRICAL AS-BUILT PLAN
 CLEVELAND STREET ELEMENTARY SCHOOL
 ORANGE BOARD OF EDUCATION
 355 CLEVELAND STREET
 ORANGE, NEW JERSEY 07050

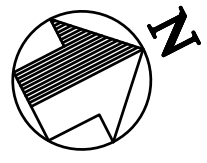
Job No. 20206.01
 File No. 2040001E101

AB.E1

LAN ASSOCIATES
 engineering • planning • architecture • surveying
 445 GODWIN AVENUE, MIDLAND PARK, N.J. 07432 (201)447-6400

KENETH H. KARLE, P.E.
 THE REGISTERED ARCHITECT License No. NJ21A0080600

Revisions:	
As-Built Set	01-2023
1	ADDENDUM 1 02/23/2023
NJ Certificate of Authorization	
Eng'r. No.	60278878
Arch. No.	AC124
Date	01/19/23
Checked	CR
Drawn	CP

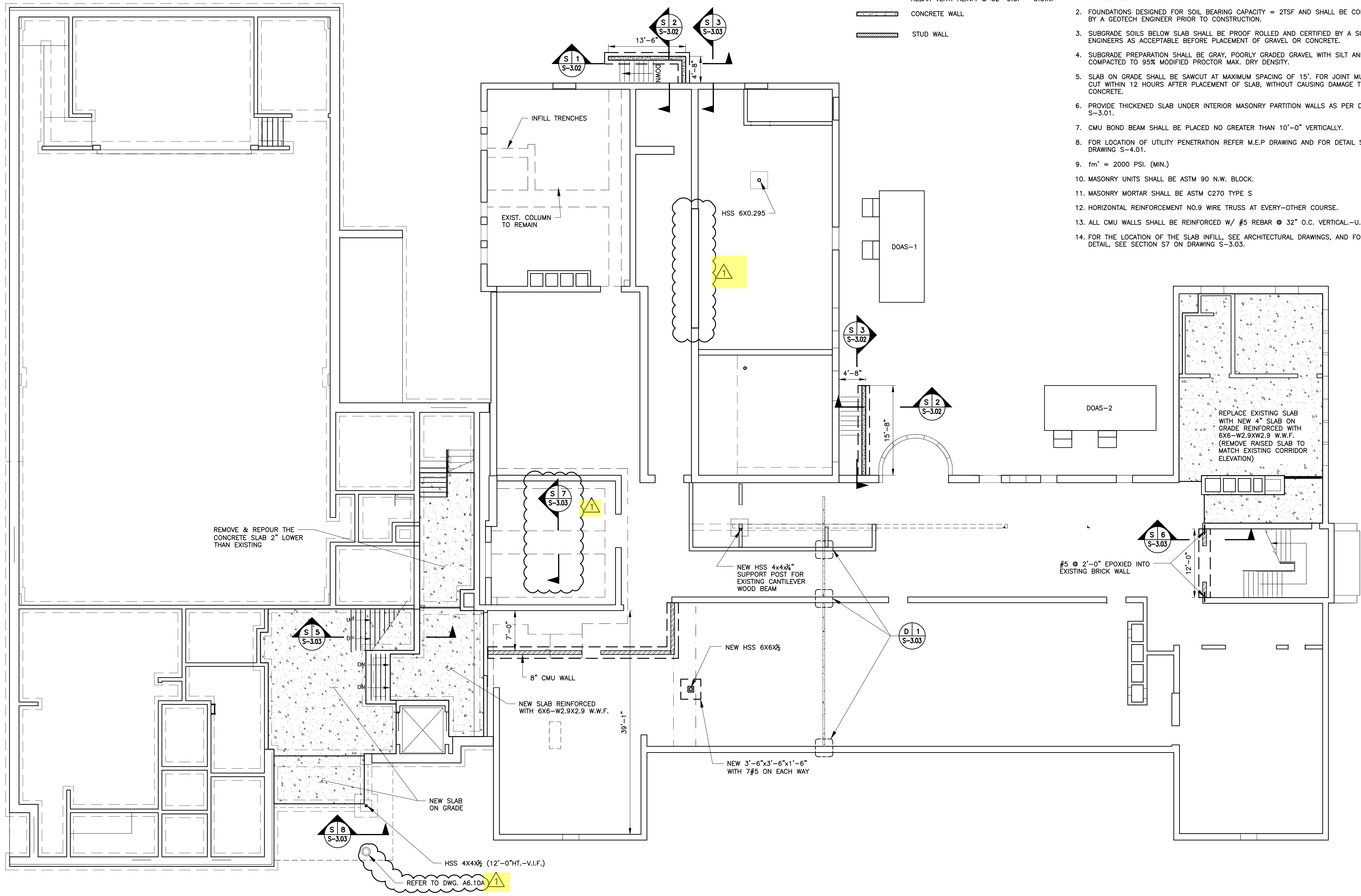


LEGEND:

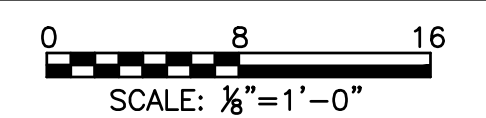
- 8" FULLY GROUTED CMU WALL W/#5 REBAR VERT. REINF. @ 32" O.C. - U.O.N.
- CONCRETE WALL
- STUD WALL

NOTES:

1. FOUNDATION PLAN SLAB IS 5" S.O.G. WITH $f'c = 5000$ (MIN.) AT 28 DAYS REINFORCED WITH WWF 6x6 - W29xW29 WELDED WIRE FABRIC ON 6" GRAVEL FILL.
2. FOUNDATIONS DESIGNED FOR SOIL BEARING CAPACITY = 2TSF AND SHALL BE CONFIRMED BY A GEOTECH ENGINEER PRIOR TO CONSTRUCTION.
3. SUBGRADE SOILS BELOW SLAB SHALL BE PROOF ROLLED AND CERTIFIED BY A SOILS ENGINEERS AS ACCEPTABLE BEFORE PLACEMENT OF GRAVEL OR CONCRETE.
4. SUBGRADE PREPARATION SHALL BE GRAY, POORLY GRADED GRAVEL WITH SILT AND SAND, COMPACTED TO 95% MODIFIED PROCTOR MAX. DRY DENSITY.
5. SLAB ON GRADE SHALL BE SAWCUT AT MAXIMUM SPACING OF 15'. FOR JOINT MUST BE CUT WITHIN 12 HOURS AFTER PLACEMENT OF SLAB, WITHOUT CAUSING DAMAGE TO CONCRETE.
6. PROVIDE THICKENED SLAB UNDER INTERIOR MASONRY PARTITION WALLS AS PER DWG. S-3.01.
7. CMU BOND BEAM SHALL BE PLACED NO GREATER THAN 10'-0" VERTICALLY.
8. FOR LOCATION OF UTILITY PENETRATION REFER M.E.P DRAWING AND FOR DETAIL SEE DRAWING S-4.01.
9. $f_m' = 2000$ PSI. (MIN.)
10. MASONRY UNITS SHALL BE ASTM 90 N.W. BLOCK.
11. MASONRY MORTAR SHALL BE ASTM C270 TYPE S
12. HORIZONTAL REINFORCEMENT NO.9 WIRE TRUSS AT EVERY-OTHER COURSE.
13. ALL CMU WALLS SHALL BE REINFORCED W/ #5 REBAR @ 32" O.C. VERTICAL-U.N.O.
14. FOR THE LOCATION OF THE SLAB INFILL, SEE ARCHITECTURAL DRAWINGS, AND FOR REPAIR DETAIL, SEE SECTION S7 ON DRAWING S-3.03.

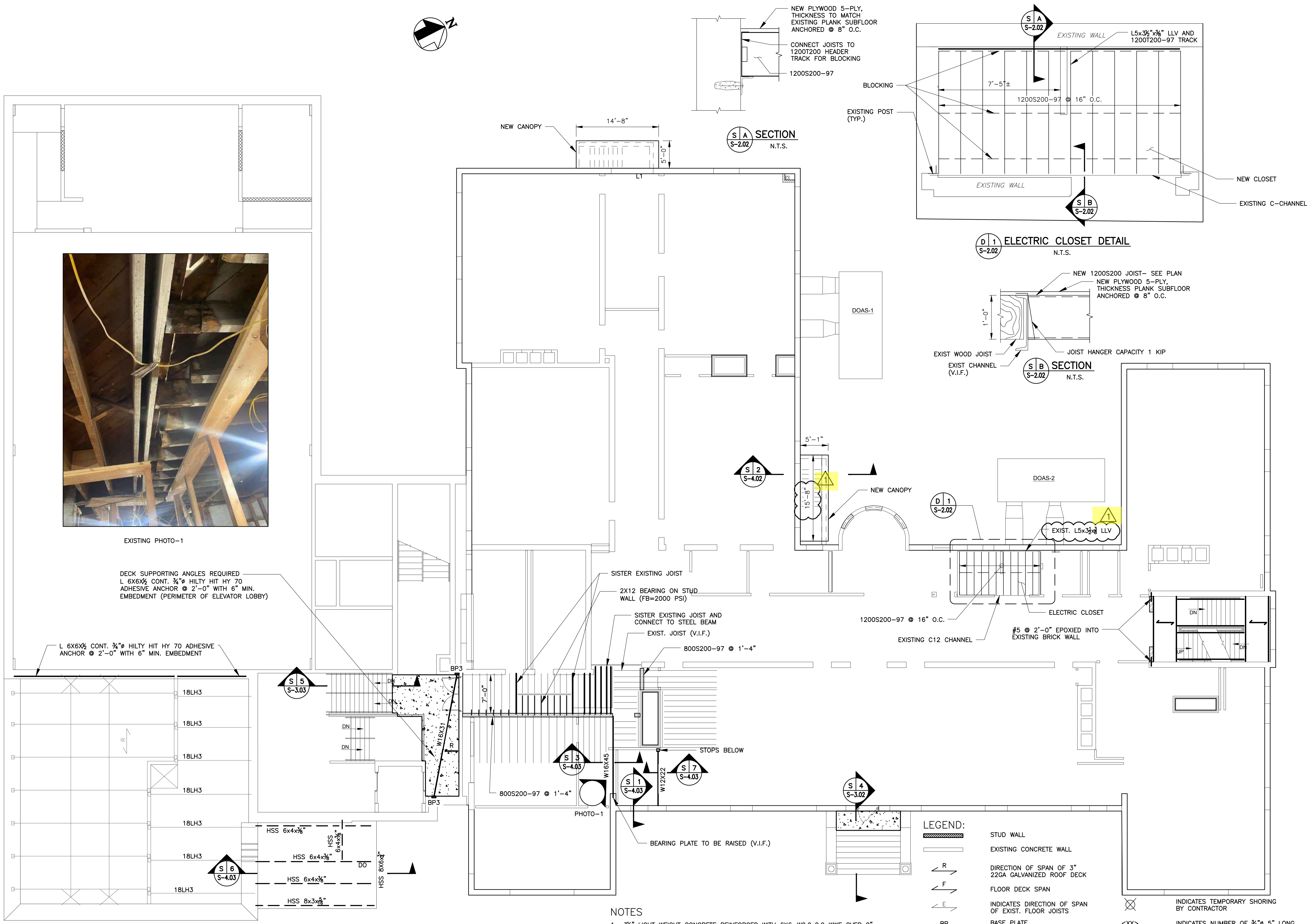


PROPOSED FOUNDATION PLAN



State Project#: 3880-070-01-0969-S DCA PROJECT # : 6506-18

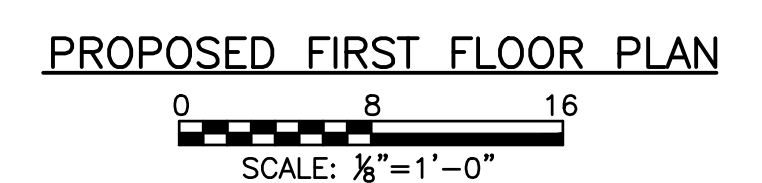
Revisions:	
ADDENDUM 1	02/23/2023
NJ Certificate of Authorization	
Eng'g. No.	GA276878
Arch. No.	AC124
Date	01/20/23
Checked	GA
Drawn	HD
LAN ASSOCIATES engineering • planning • architecture • surveying 445 GODWIN AVENUE, MIDLAND PARK, N.J. 07432 (201)447-6400 LICENSE NO. N21A0080600 THE REGISTERED ARCHITECT	
PROPOSED FOUNDATION PLAN CLEVELAND STREET ELEMENTARY SCHOOL ORANGE BOARD OF EDUCATION 355 CLEVELAND STREET ORANGE, NEW JERSEY 07050	
Job No.	20206.01
File No.	



EXISTING PHOTO-1
DECK SUPPORTING ANGLES REQUIRED
L 6X6 1/2 CONT. 3/4" HILTY HIT HY 70
ADHESIVE ANCHOR @ 2'-0" WITH 6" MIN.
EMBEDMENT (PERIMETER OF ELEVATOR LOBBY)

L 6X6 1/2 CONT. 3/4" HILTY HIT HY 70 ADHESIVE
ANCHOR @ 2'-0" WITH 6" MIN. EMBEDMENT

- NOTES**
- 3/4" LIGHT WEIGHT CONCRETE REINFORCED WITH 6X6-W2.9x2.9 WWF OVER 2",
18 GA COMPOSITE GALVANIZED METAL DECK TOTAL SLAB THICKNESS 5 1/2".
 - ROOF SHALL BE 2" TYPE N, 18 GA GALVANIZED DECK.
 - ALL BEAMS AND JOIST SHALL BE EQUALLY SPACED FROM COLUMN/GRID TO
COLUMN/GRID WITH MAXIMUM SPAN 6'-0" U.O.N.
 - TOP OF SLAB FOR FIRST FLOOR ELEVATION IS 7'-0 1/2"±.



LEGEND:

	STUD WALL		INDICATES TEMPORARY SHORING BY CONTRACTOR
	EXISTING CONCRETE WALL		INDICATES NUMBER OF 3/4" x 5" LONG SHEAR STUDS AT 1'-0" O.C.
	DIRECTION OF SPAN OF 3" 22GA GALVANIZED ROOF DECK		INDICATES NEW JOIST HANGERS WITH 3000 LBS CAPACITY - V.I.F. JOIST SIZES
	FLOOR DECK SPAN		INDICATES SPAN DIRECTION OF NEW 2X8 JOISTS @ 16" O.C.
	INDICATES DIRECTION OF SPAN OF EXIST. FLOOR JOISTS		CONTROL JOINT
	BASE PLATE (REFER S-4.01 FOR SIZE)		
	STEEL LINTEL (REFER DWGS. S-4.01 FOR DETAIL)		
	JOIST BRIDGING		

Revisions:

ADDENDUM 1	02/23/2023
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Professional Information

Professional Seal	Professional Stamp
Professional Name	Professional Title

LAN ASSOCIATES
KENNETH H. KARLE, R.A.
REGISTERED ARCHITECT
engineering • planning • architecture • surveying
445 GODWIN AVENUE, MIDLAND PARK, N.J. 07432 (201)447-6400

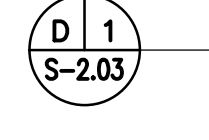
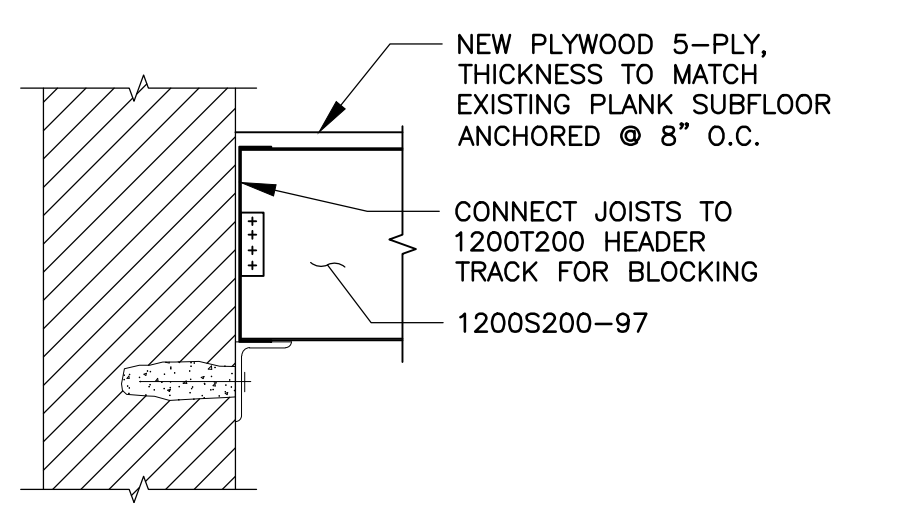
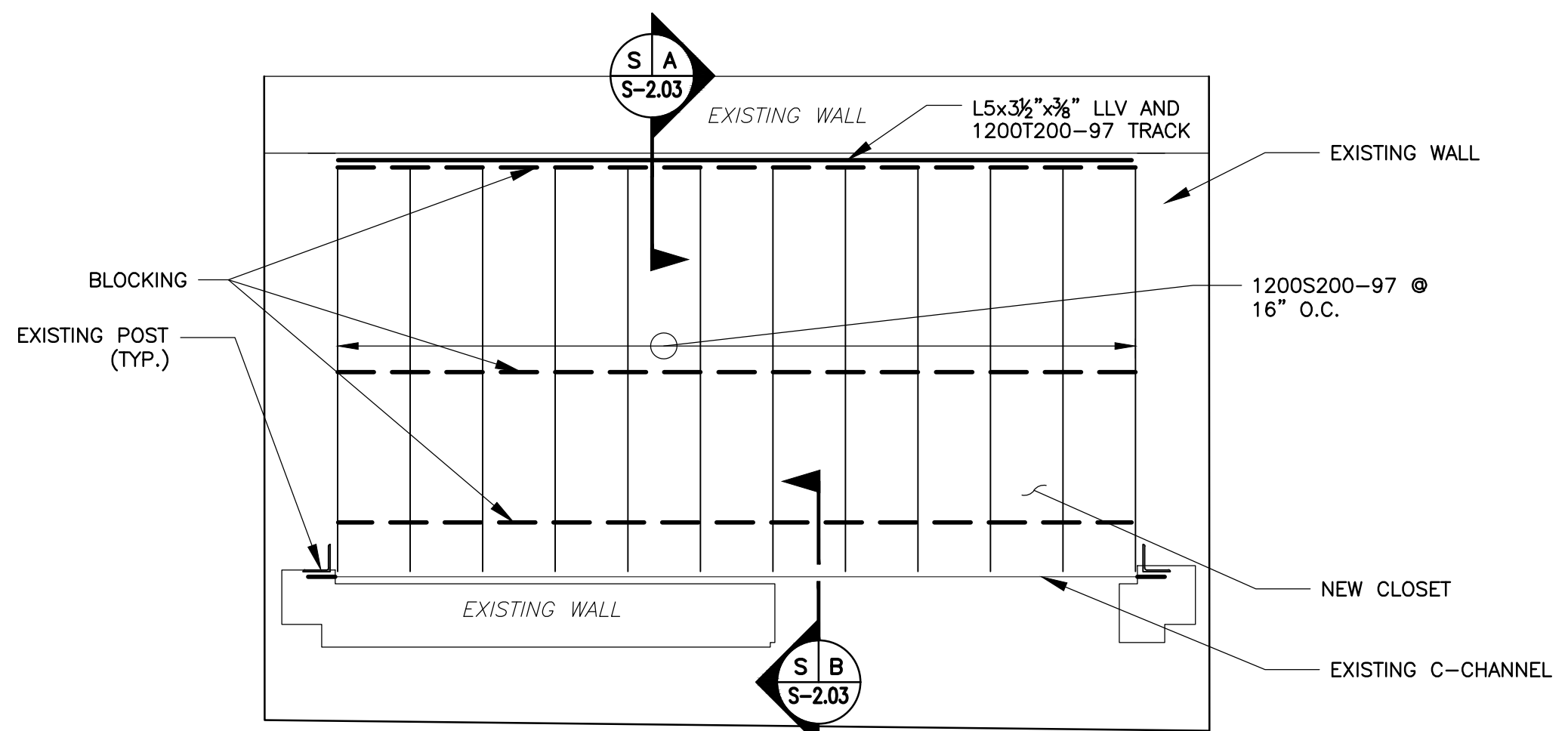
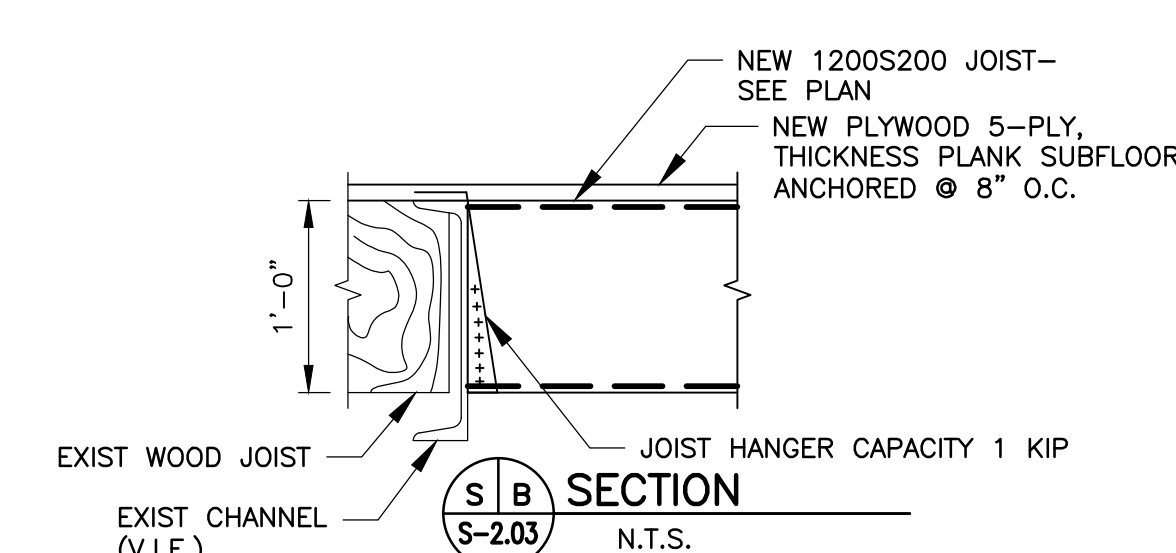
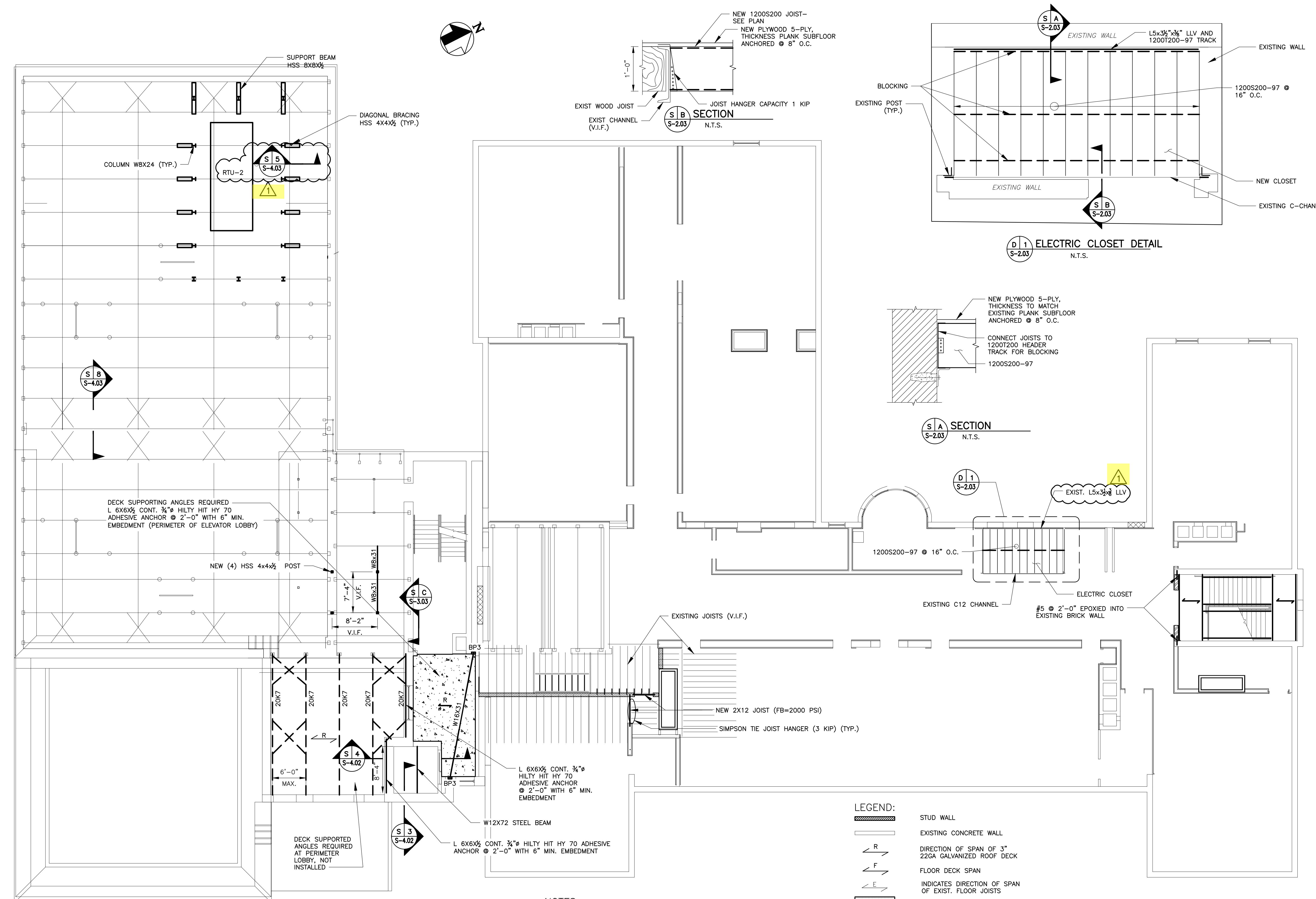
PROP. FIRST FLOOR PLAN
CLEVELAND STREET ELEMENTARY SCHOOL
ORANGE BOARD OF EDUCATION
355 CLEVELAND STREET
ORANGE, NEW JERSEY 07050

Job No. 20206.01
File No.
S-2.02

State Project #: 3880-070-01-0969-S DCA PROJECT # : 6506-18

A B C D E F G H J K L M N O

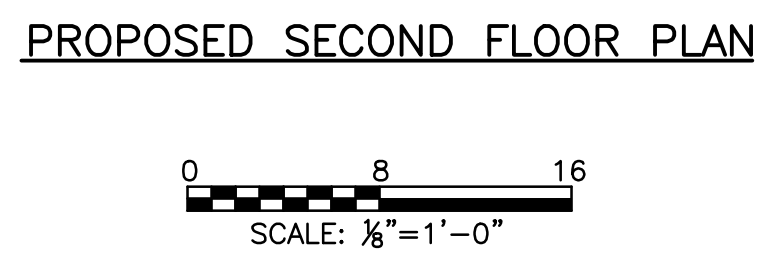
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LEGEND:

	STUD WALL
	EXISTING CONCRETE WALL
	DIRECTION OF SPAN OF 3" 22GA GALVANIZED ROOF DECK
	FLOOR DECK SPAN
	INDICATES DIRECTION OF SPAN OF EXIST. FLOOR JOISTS
	INDICATES CONG. SLAB
	BASE PLATE
	STEEL LINTEL (REFER DWGS. S-4.01 FOR DETAIL)
	INDICATES TEMPORARY SHORING BY CONTRACTOR
<XX> symbol"/>	INDICATES NUMBER OF 3/4" x 5" LONG SHEAR STUDS AT 1'-0" O.C.
	INDICATES NEW JOIST HANGERS WITH 3000 LBS CAPACITY - V.I.F. JOIST SIZES
	INDICATES SPAN DIRECTION OF NEW 2X8 JOISTS @ 16" O.C.

- NOTES:**
- 3/8" LIGHT WEIGHT CONCRETE REINFORCEMENT WITH 6X6-W2.9x2.9 WWF OVER 2", 18 GA COMPOSITE GALVANIZED METAL DECK TOTAL SLAB THICKNESS 5 1/2".
 - ALL BEAMS AND JOIST SHALL BE EQUALLY SPACED FROM COLUMN/GRID TO COLUMN/GRID WITH MAXIMUM SPACING 6'-0" U.O.N.
 - TOP OF SLAB FOR SECOND FLOOR 21'-0 1/2".



State Project#: 3880-070-01-0969-S DCA PROJECT # : 6506-18

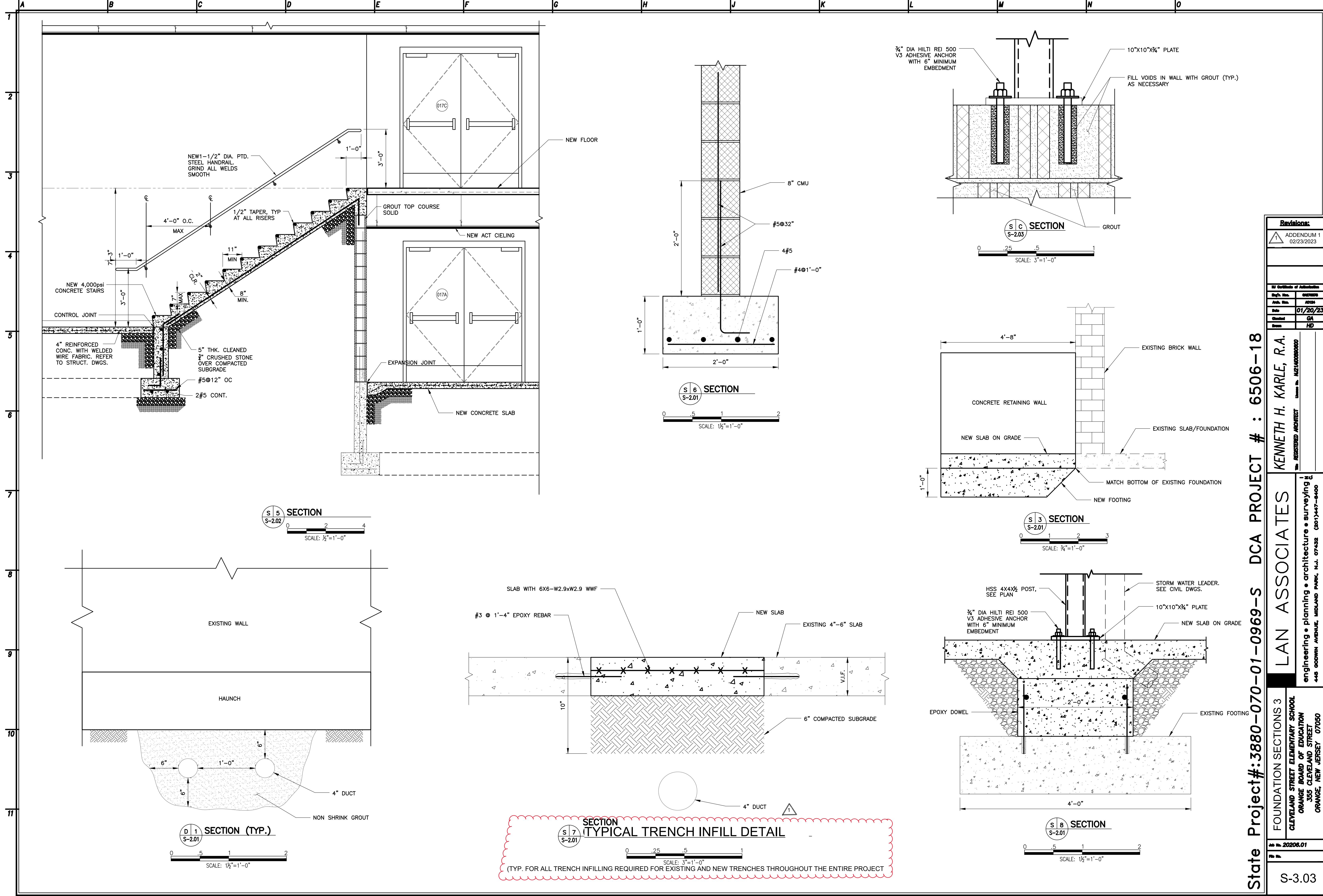
Revisions:

ADDENDUM 1	02/23/2023
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Professional Engineer: **KENNETH H. KARLE, R.A.**
 License No. NJ21A00890600
 Registered Architect

LAN ASSOCIATES
 engineering • planning • architecture • surveying
 445 GODWIN AVENUE, MIDLAND PARK, N.J. 07432 (201)477-6400

Job No. 20206.01
 File No. S-2.03



State Project #: 3880-070-01-0969-S DCA PROJECT # : 6506-18

Revisions:	
1	ADDENDUM 1 02/23/2023
All quantities of materials shall be as shown on drawings.	
DATE	DESCRIPTION
01/20/23	GA
	MD
KENNETH H. KARLE, R.A. REGISTERED ARCHITECT LICENSE NO. NA214000000	
LAN ASSOCIATES engineering • planning • architecture • surveying 448 GODWIN AVENUE, MIDLAND PARK, N.J. 07432 (201) 447-6400	
FOUNDATION SECTIONS 3 CLEVELAND STREET ELEMENTARY SCHOOL ORANGE BOARD OF EDUCATION 355 CLEVELAND STREET ORANGE, NEW JERSEY 07050	
20206.01	
S-3.03	

NOTE: PRECAST LINTELS ARE REQUIRED FOR ALL NEW MASONRY OPENINGS

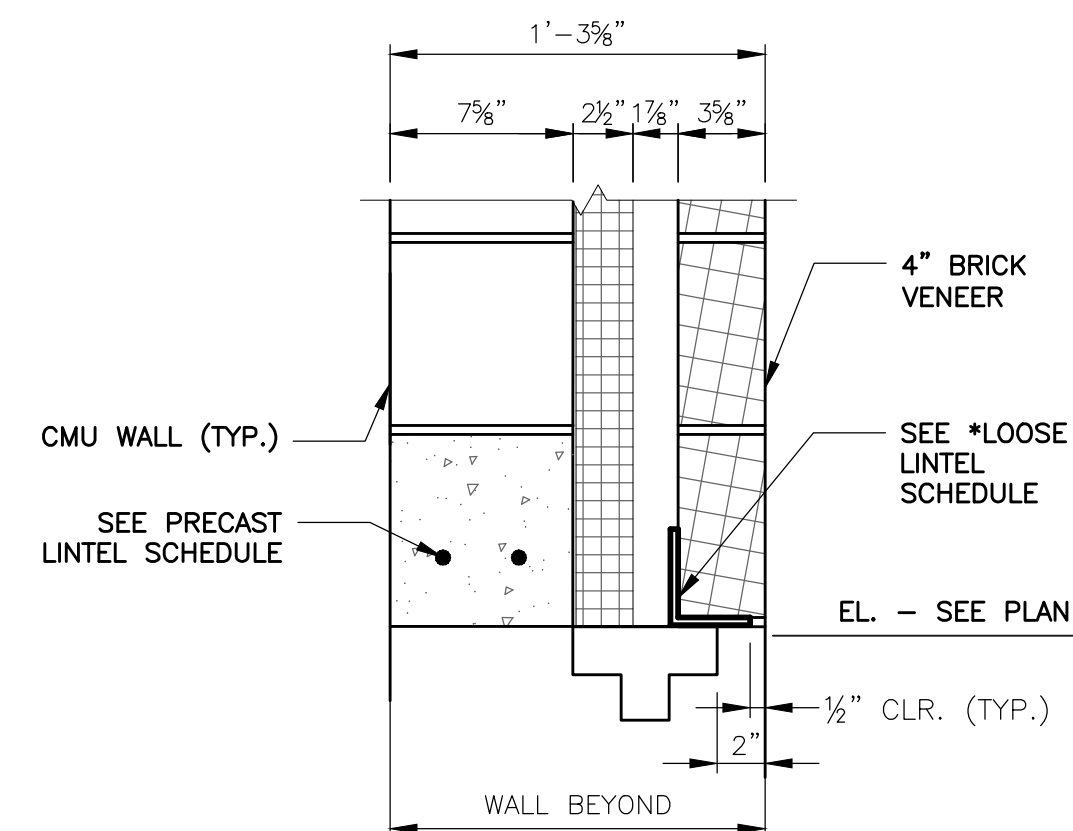
PRECAST LINTEL SCHEDULE (8" CMU/BRICK)			
LINTEL	MASONRY OPENING	DEPTH	BOTTOM REINFORCEMENT
L1	UP TO 4'-0"	0'-8"	(2)#4
L2	4'-1" TO 6'-0"	0'-8"	(2)#4
L3	6'-1" TO 8'-0"	0'-8"	(2)#5

LOOSE LINTEL SCHEDULE AT VENEER		
LINTEL	MASONRY OPENING	LINTEL SIZE
L1	UP TO 4'-0"	L4X3½X5/16"
L2	4'-1" TO 6'-0"	L5X3½X3/8"
L3	6'-1" TO 8'-0"	L6X3½X3/8"

- NOTES:
- ALL EXTERIOR LINTELS TO BE GALVANIZED STEEL.
 - THIS DETAIL APPLIES 8" & 12" CMU WALLS.

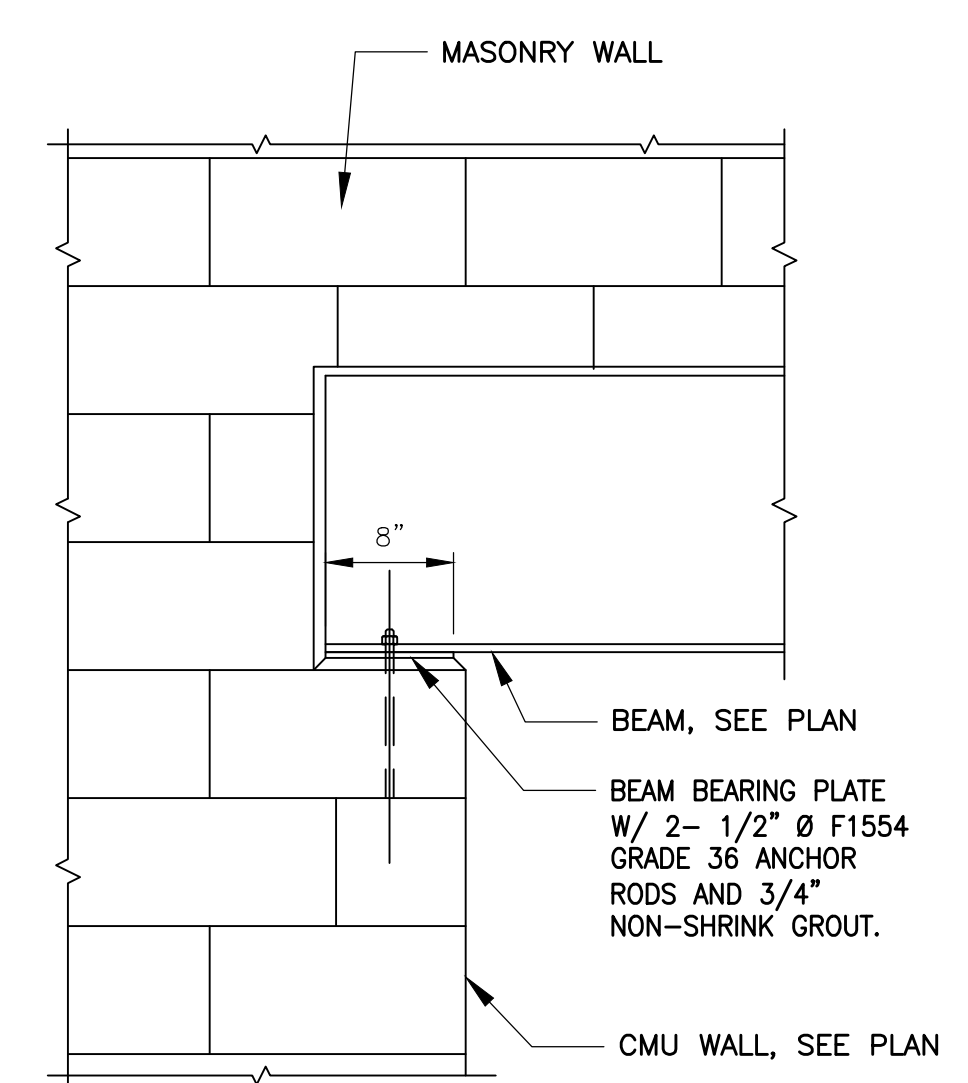
PRECAST LINTEL SCHEDULE (12" CMU/BRICK)			
LINTEL	MASONRY OPENING	DEPTH	BOTTOM REINFORCEMENT
L1	UP TO 4'-0"	0'-8"	(3)#4
L2	4'-1" TO 6'-0"	0'-8"	(3)#4
L3	6'-1" TO 8'-0"	0'-8"	(3)#5

BASE PLATE	DIMENSIONS
BP-1	8" X 6" X ¾"
BP-2	6" X 4" X ½"
BP-3	8" X 4" X ¾"
BP-4	11" X 4" X ¾"

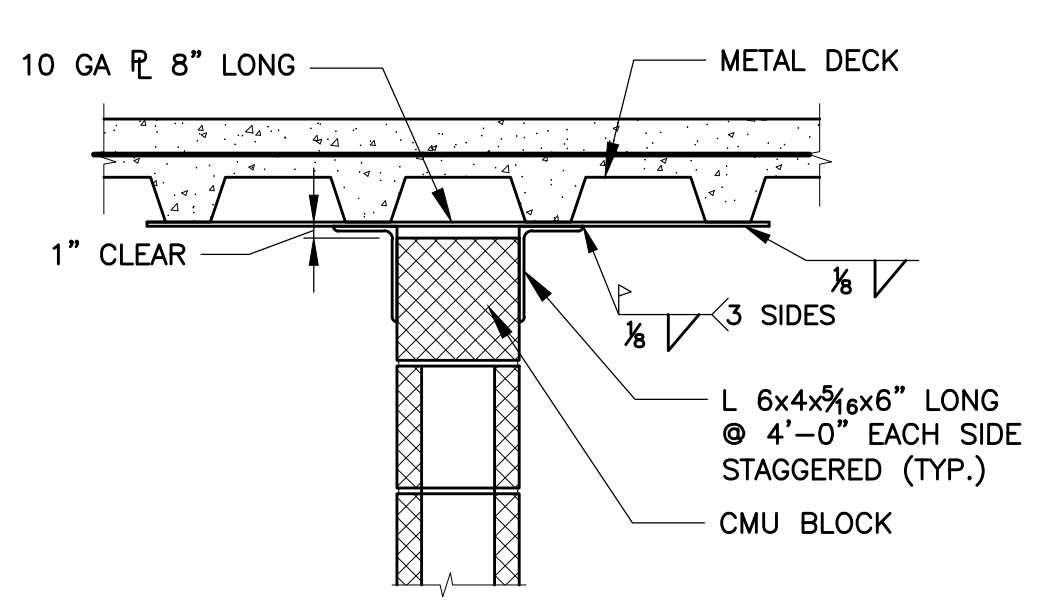


- NOTES:
- PROVIDE ONE (1) ANGLE FOR EACH 4" OF MASONRY WIDTH.
 - BEAR LINTELS 8" MINIMUM EACH SIDE OF OPENING.
 - ALL LINTELS IN EXTERIOR WALLS TO BE GALVANIZED.
 - WHERE OPENINGS LOCATED NEXT TO THE COLUMNS OR BEAMS, ATTACH TO STRUCTURAL STEEL, CONNECTION NOT TO PROTRUDE INTO OPENING.
 - CONSULT ARCHITECTURAL, MECHANICAL & ELECTRICAL DRAWINGS FOR OPENING SIZE & LOCATION.
 - MASONRY VENEER SHALL BE FULLY GROUTED 16" LONG WALL BY THE OPENING.

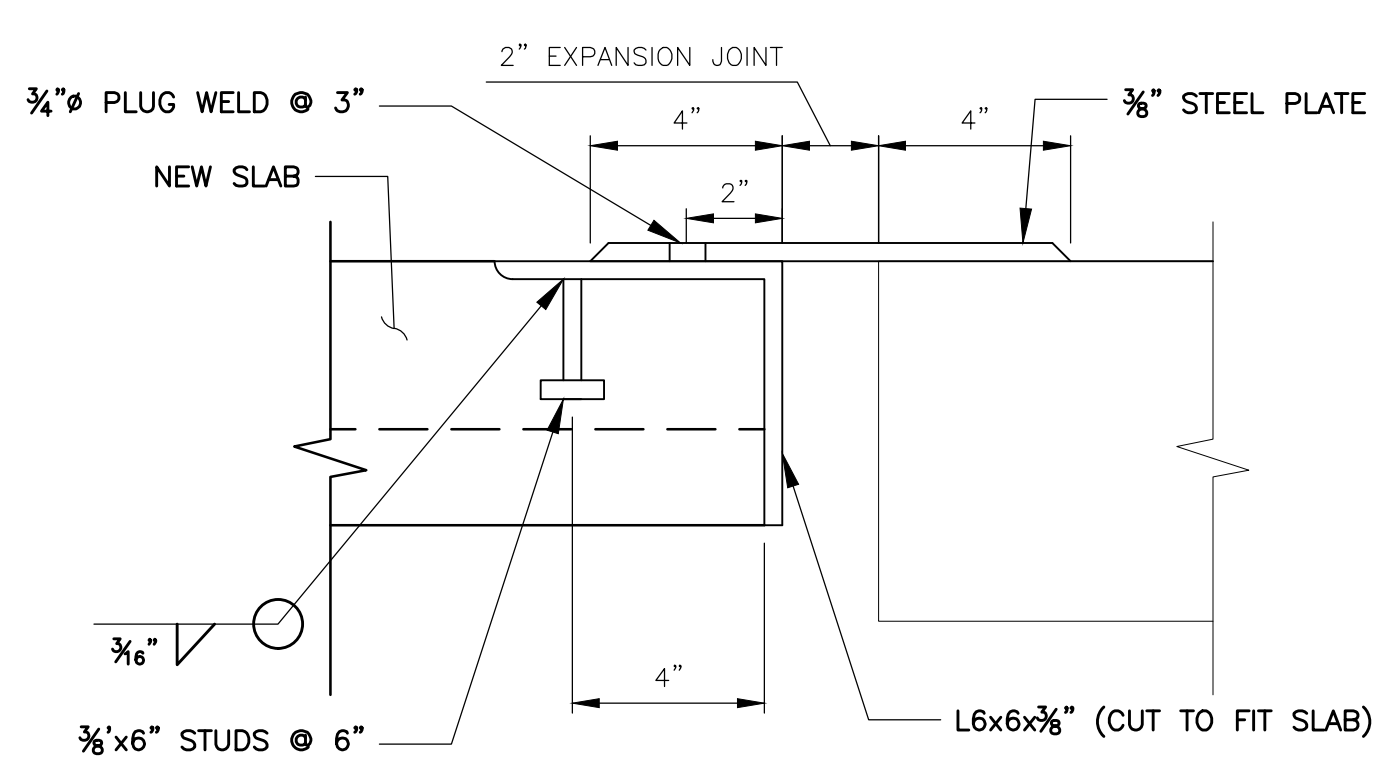
PRECAST LINTEL DETAIL
N.T.S.



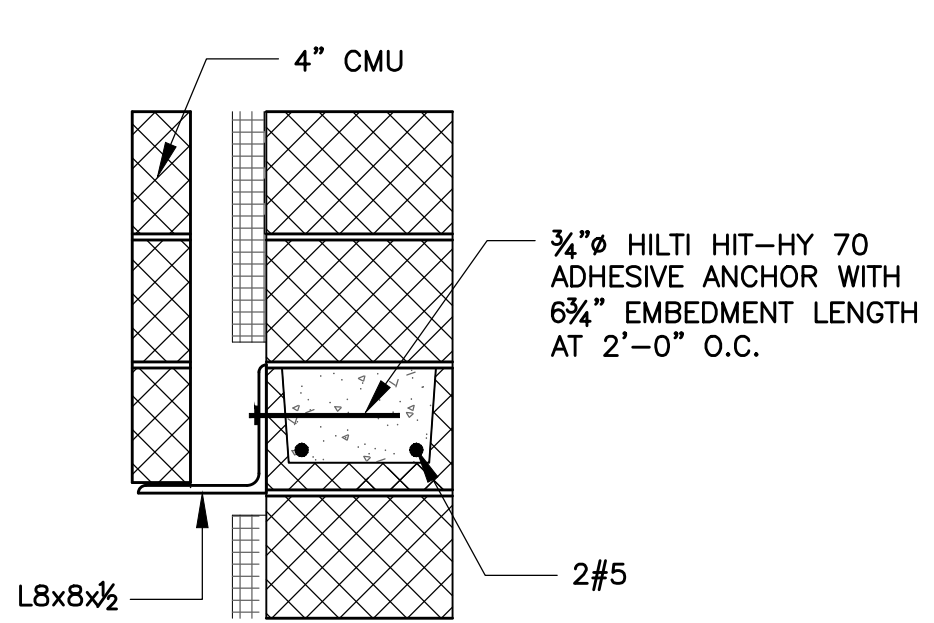
TYPICAL BEAM BEARING
PARALLEL TO CMU WALL
N.T.S.



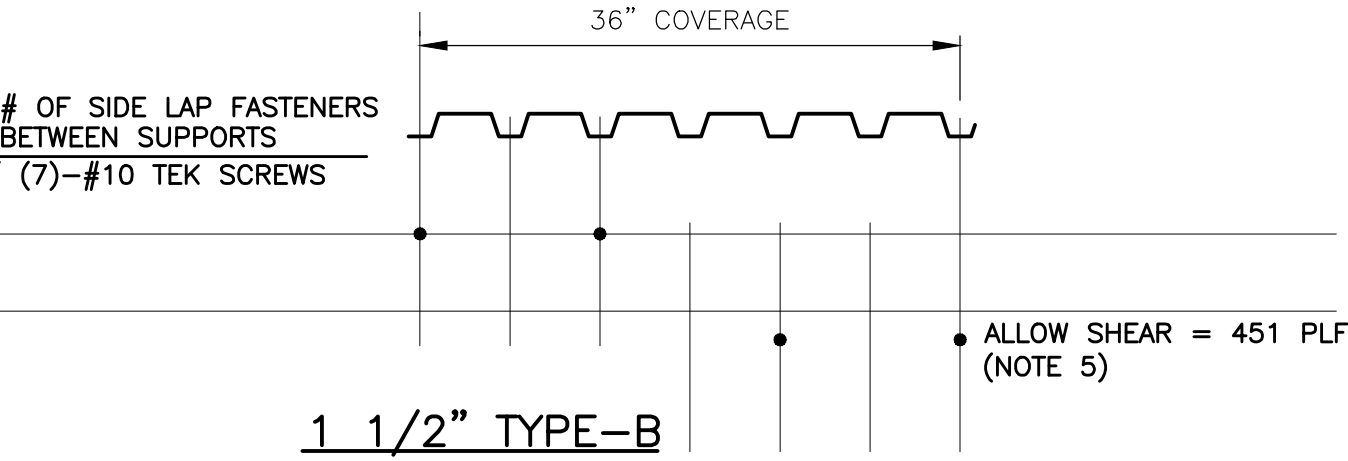
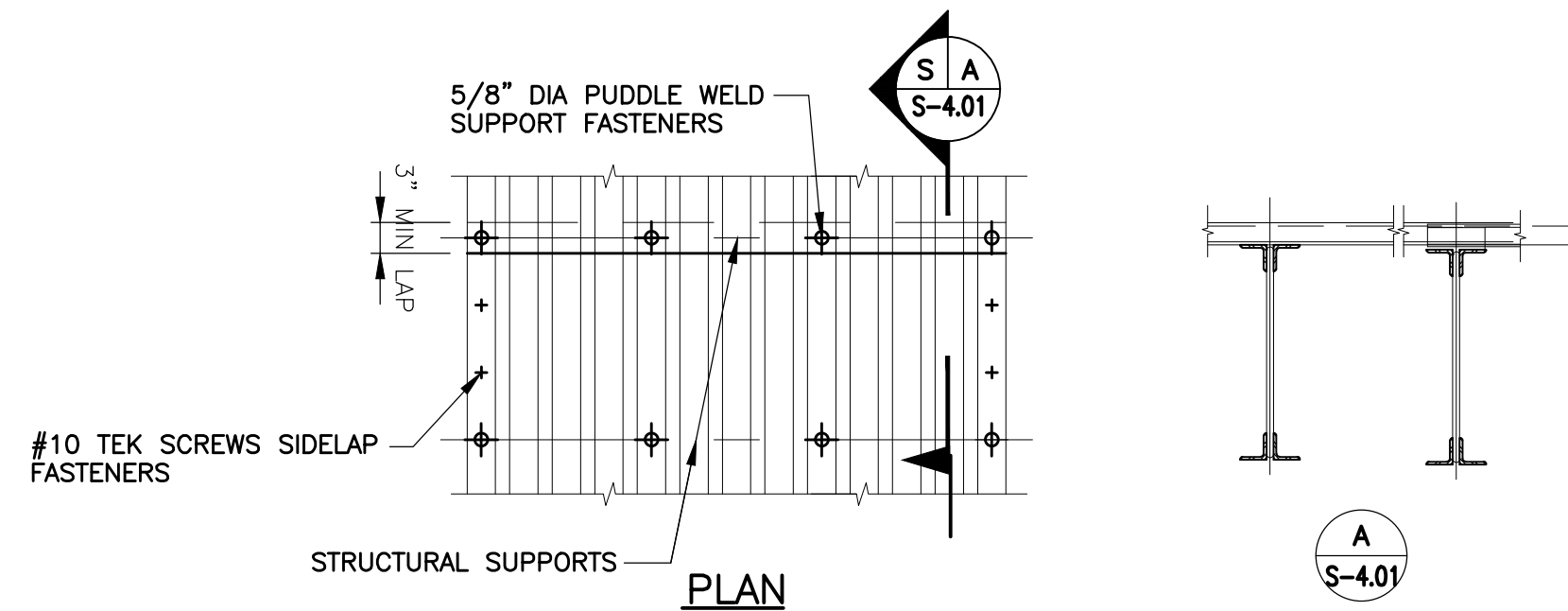
INTERIOR MASONRY PARTITION WALL
N.T.S.



SLAB EXPANSION JOINT DETAIL
N.T.S.

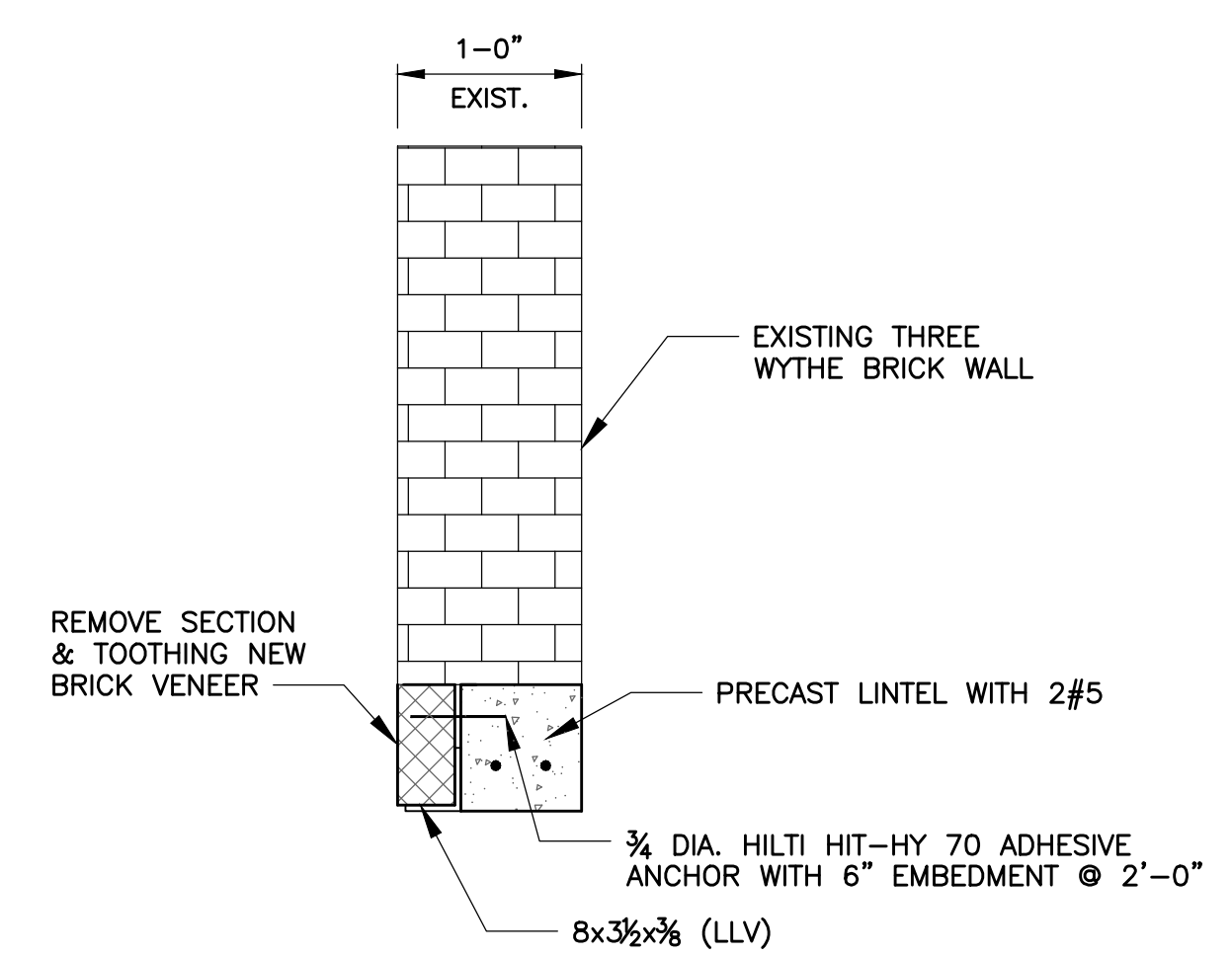


SELF ANGLE DETAIL TO SUPPORT
4" CMU BLOCK UP TO 24"-0" HIGH
N.T.S.

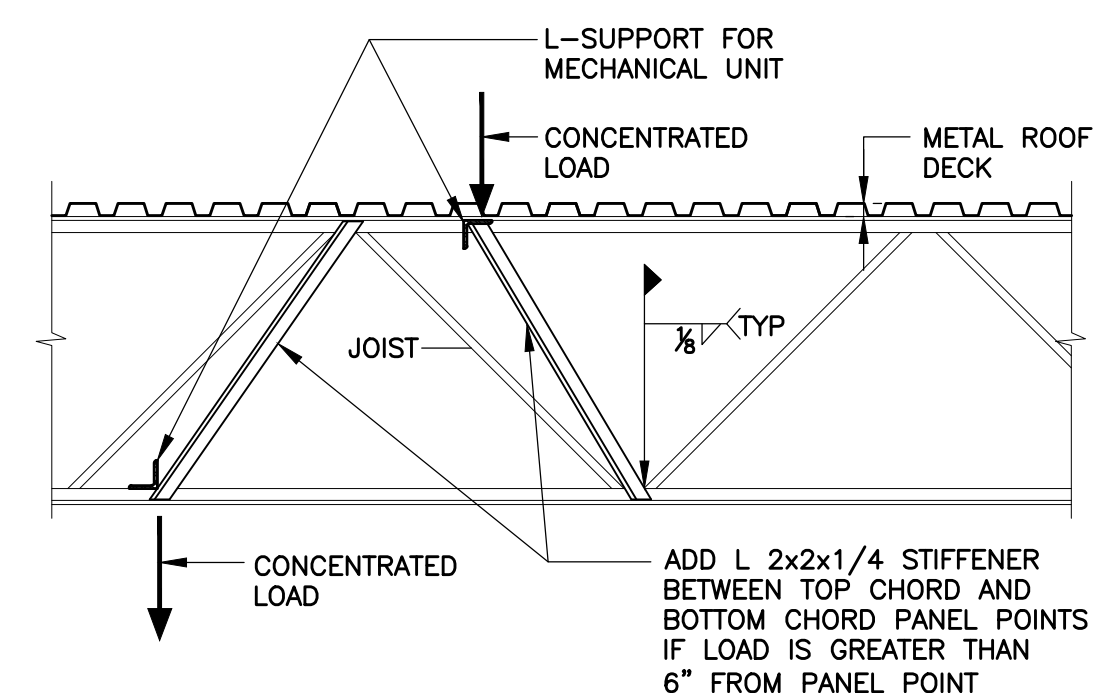


- NOTES:
- DECK SHALL BE ATTACHED TO ALL STRUCTURAL SUPPORTS WITH 5/8" DIA PUDDLE WELDS.
 - SIDE LAPS BETWEEN STRUCTURAL SUPPORTS SHALL BE FASTENED BY #10 TEK SCREWS.
 - DECK SHALL BE ATTACHED TO ALL PERIMETER SUPPORTS WITH 5/8" DIA PUDDLE WELDS @ 6" OC MAX
 - END LAPS SHALL BE A MINIMUM OF 3" AND SHALL OCCUR OVER SUPPORTS.
 - CAPACITY BASED ON 5'-6" DECK SPAN.

TYPICAL DETAIL ROOF DECK ATTACHMENT
SCHEDULE & KEY PLAN
N.T.S.

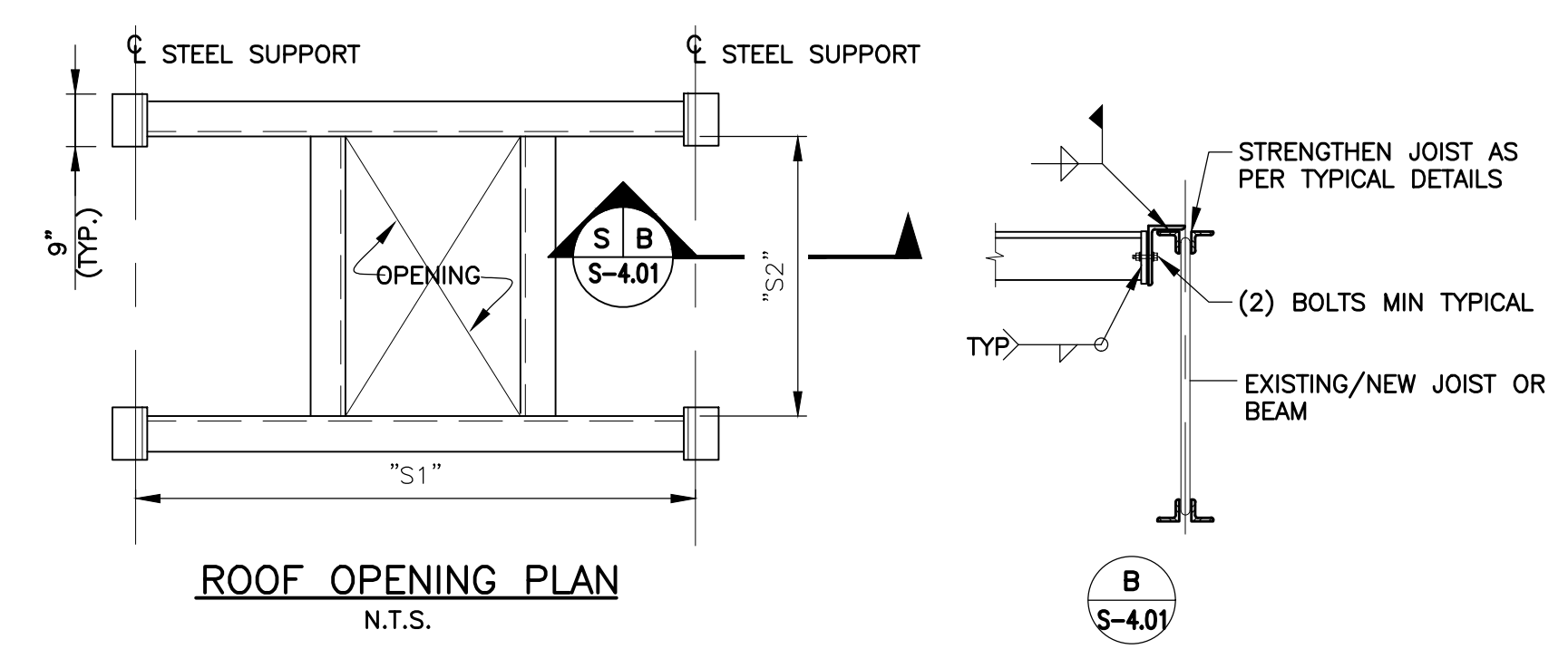


DUCT PENETRATION ON EXISTING CMU WALL
EXTERIOR



- NOTE:
- SUPPORTING LOAD AT CONDENSERS, MECHANICAL UNITS, AND ALL CONCENTRATED LOADS GREATER THAN 150 LBS AND NOT EXCEEDING 500 LBS.

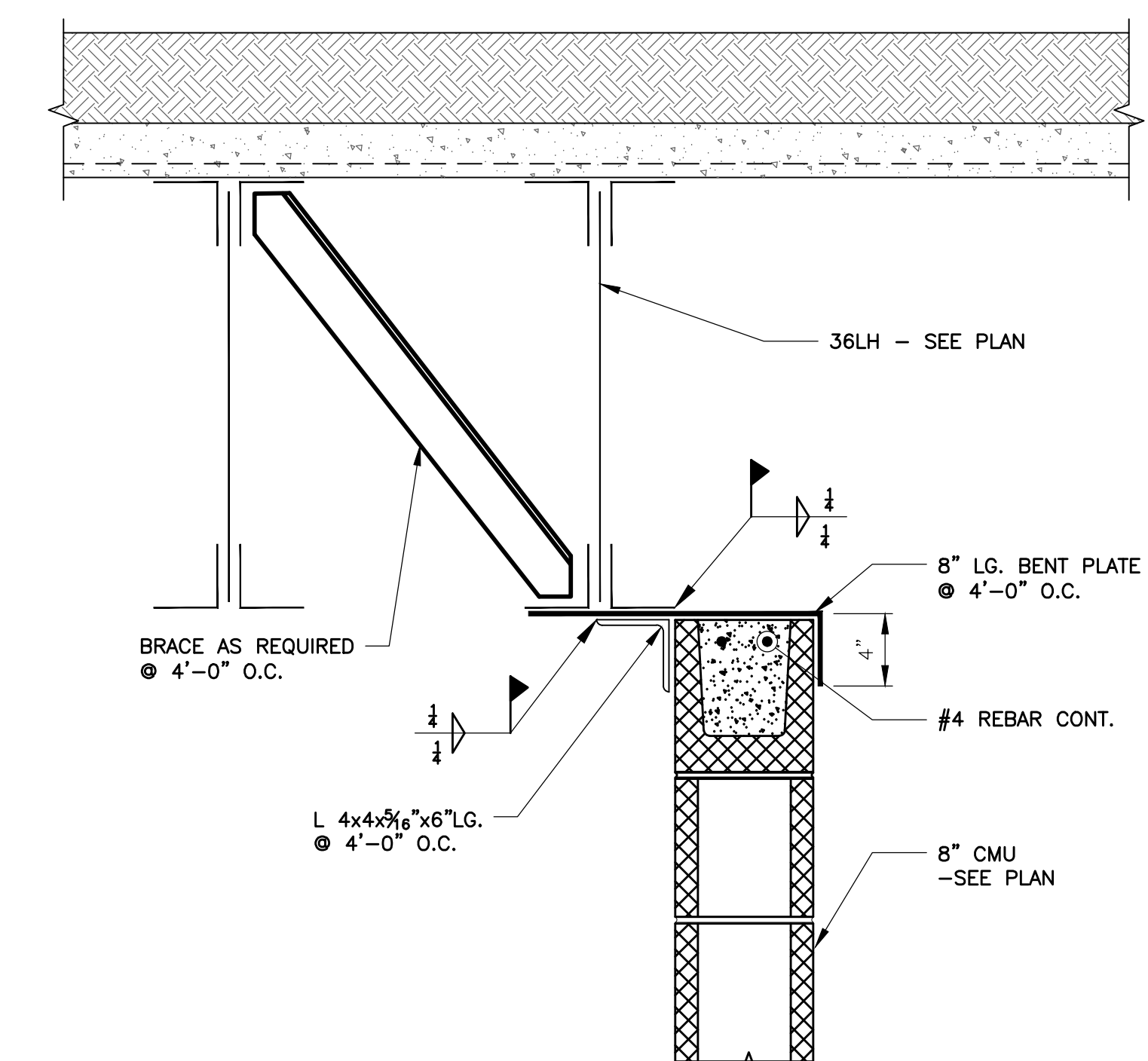
TYPICAL DETAIL REINFORCED JOIST
N.T.S.



- NOTES:
- FOR SIZE AND LOCATION OF OPENINGS SEE ARCHITECTURAL AND MECHANICAL DRAWINGS.
 - STEEL CONTRACTOR SHALL VERIFY ALL OPENINGS AND EXACT LOCATIONS WITH THE TRADE CONTRACTOR REQUIRING OPENINGS PRIOR TO FABRICATION AND ERECTION OF STEEL FRAMES.
 - PROVIDE STEEL FRAMING AS SHOWN AROUND ALL OPENINGS LARGER THAN 8" AT THE OOF.
 - WHEN JOIST SPACING EXCEEDS 6'-0", VERIFY ALL ANGLES SIZES W/ENGINEER.
 - WHERE ROOF STEEL SLOPES, CURB HEIGHTS MUST VARY TO PROVIDE A LEVEL SURFACE.
 - PROVIDE BRIDGING FOR ONE BAY ON BOTH SIDES OF OPENING WHEN BRIDGING IS INTERRUPTED.
 - PROVIDE STEEL ANGLES ON ALL SIDES OF OPENINGS UNLESS BEAM IS SHOWN ON PLAN. ANGLE SIZES TO BE:

FOR "S1" OR "S2" < 4'-0" - L 4x4x½
 FOR "S1" OR "S2" > 4'-0" - L 6x6x½
 FOR "S1" OR "S2" > 9'-0" - L 7x4x3/8 (LLV)

TYPICAL DETAIL FRAMING AT ROOF OPENING
N.T.S.



TYPICAL INTERIOR MASONRY WALL TOP BEARING



State Project #: 3880-070-01-0969-S DCA PROJECT # : 6506-18

Revisions:
 1 ADDENDUM 1 02/23/2023

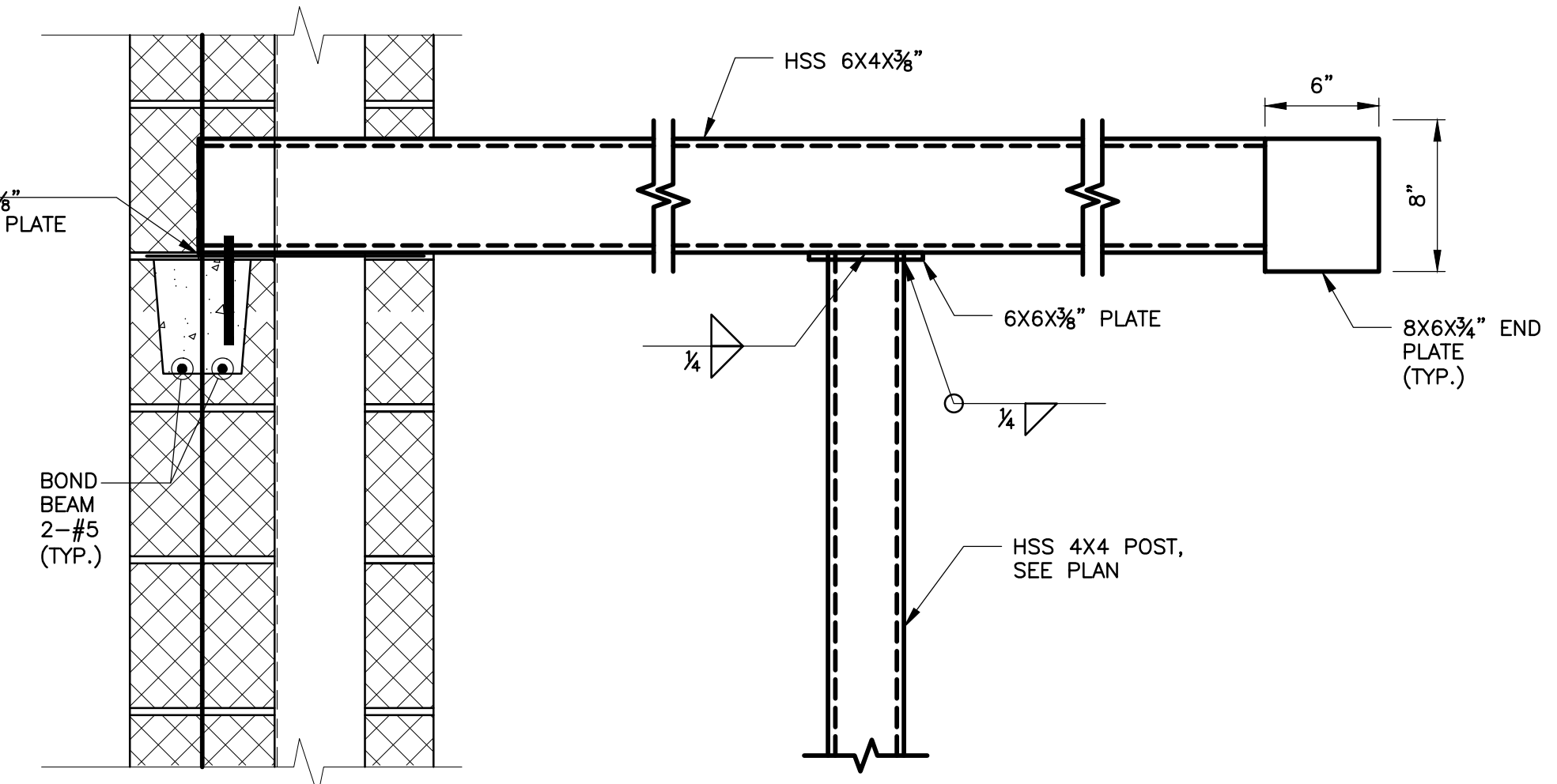
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TYPICAL STEEL DETAILS
 CLEVELAND STREET ELEMENTARY SCHOOL
 ORANGE BOARD OF EDUCATION
 355 CLEVELAND STREET
 ORANGE, NEW JERSEY 07050

20206.01
 S-4.01

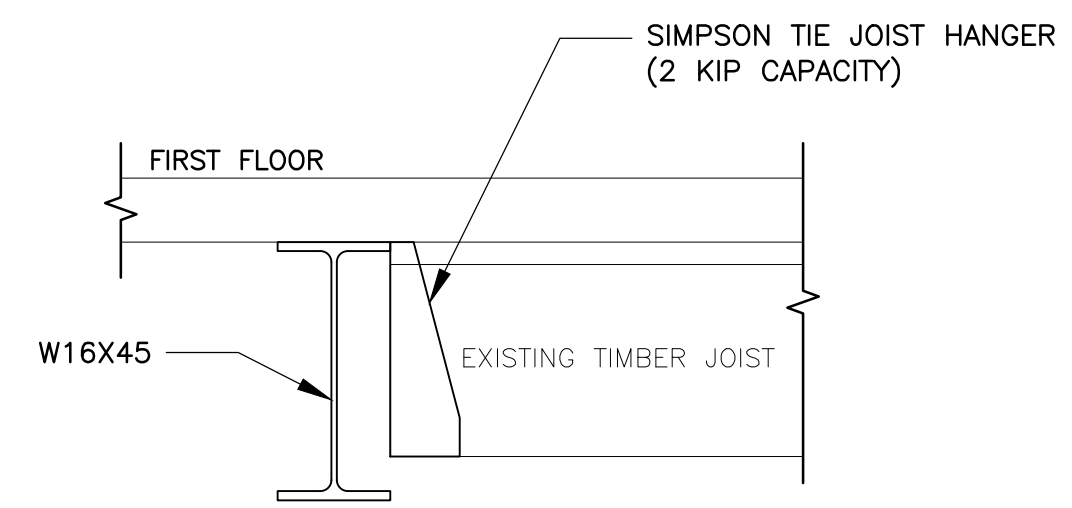
A B C D E F G H J K L M N O

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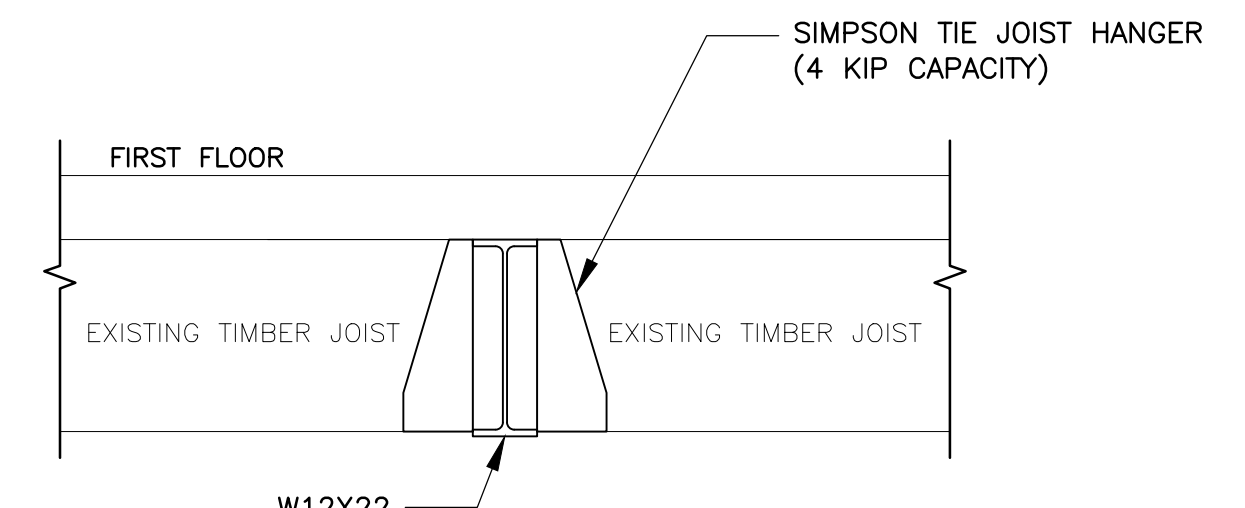
S 6
S-2.02 CANOPY ATTACHMENT DETAIL (NEW BUILDING)

N.T.S.
SCALE: 1/2" = 1'-0"



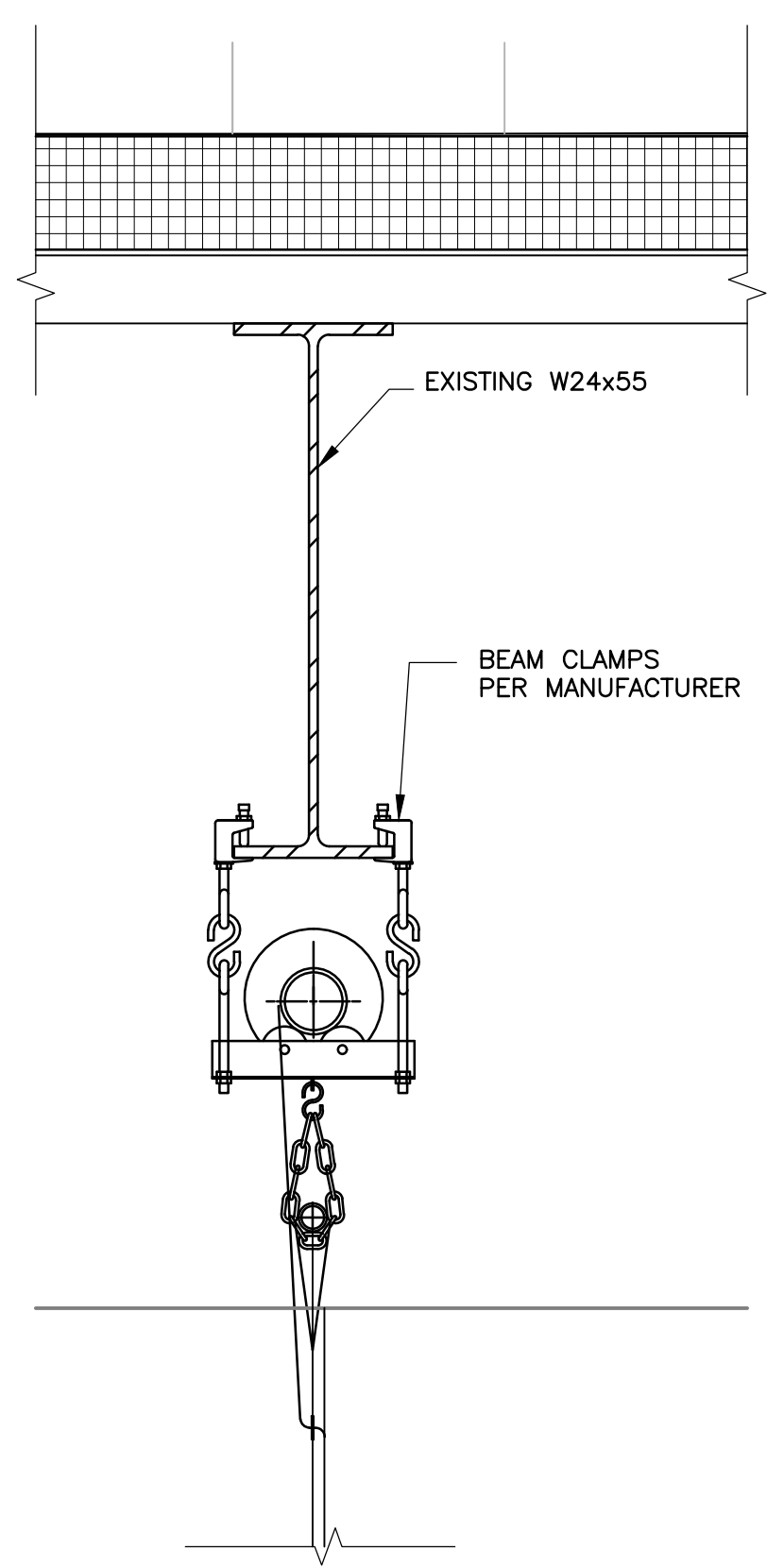
S 3
S-2.02 SECTION

SCALE: 1" = 1'-0"



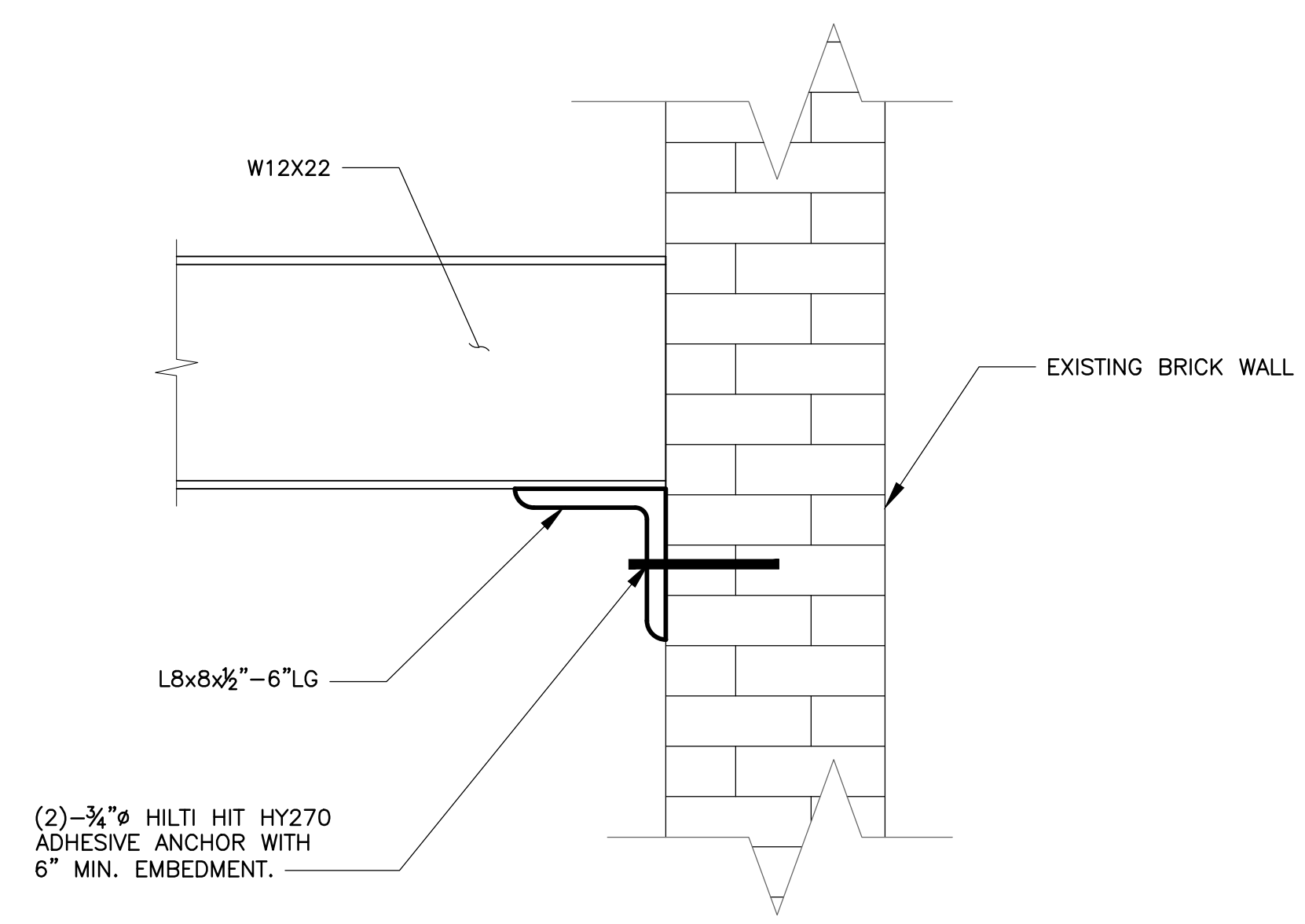
S 7
S-2.02 SECTION

SCALE: 1" = 1'-0"



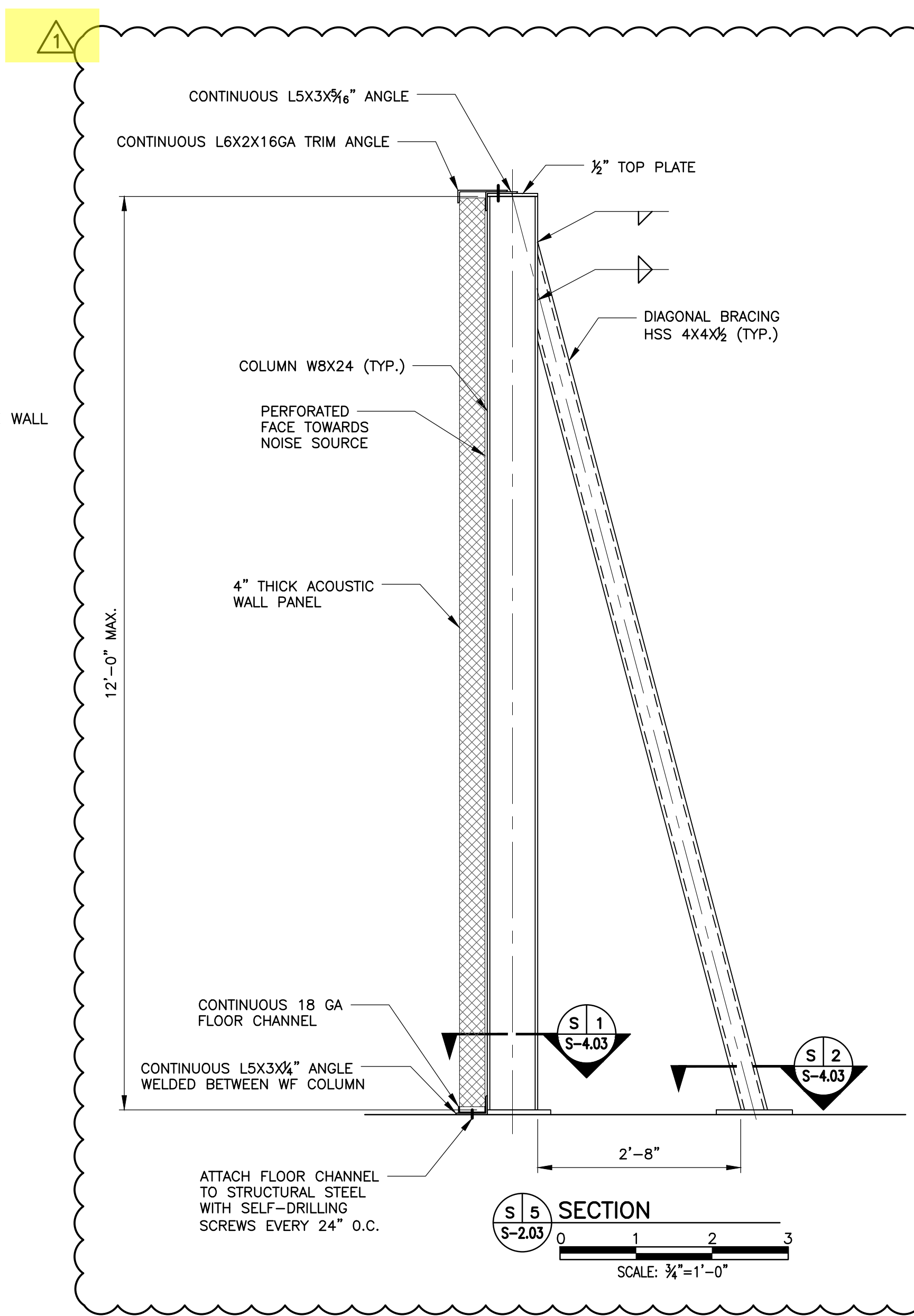
S 8
S-2.03 SECTION (DIVIDED CURTAIN DETAIL)

SCALE: 1/2" = 1'-0"



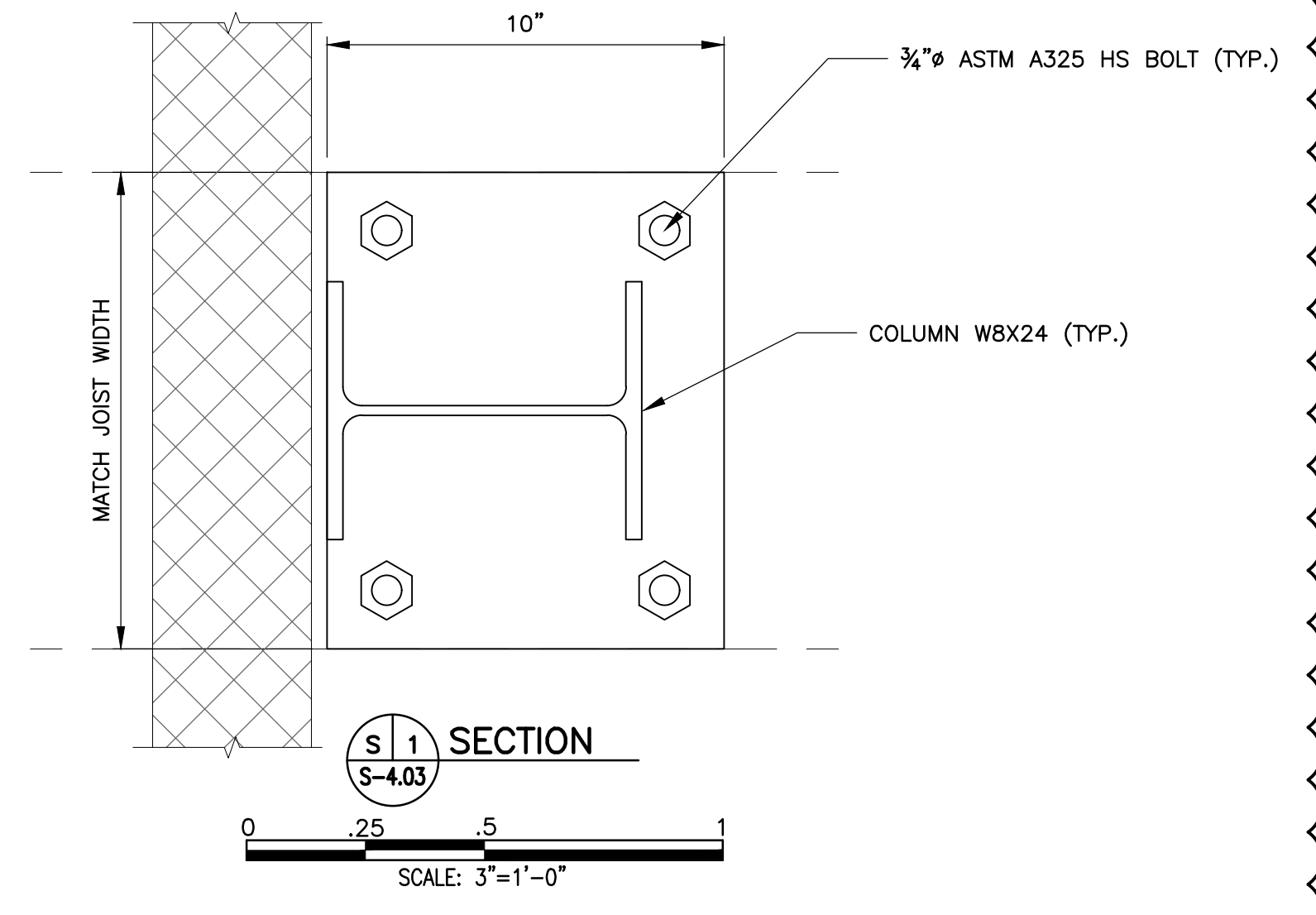
S 1
S-2.02 SECTION

N.T.S.



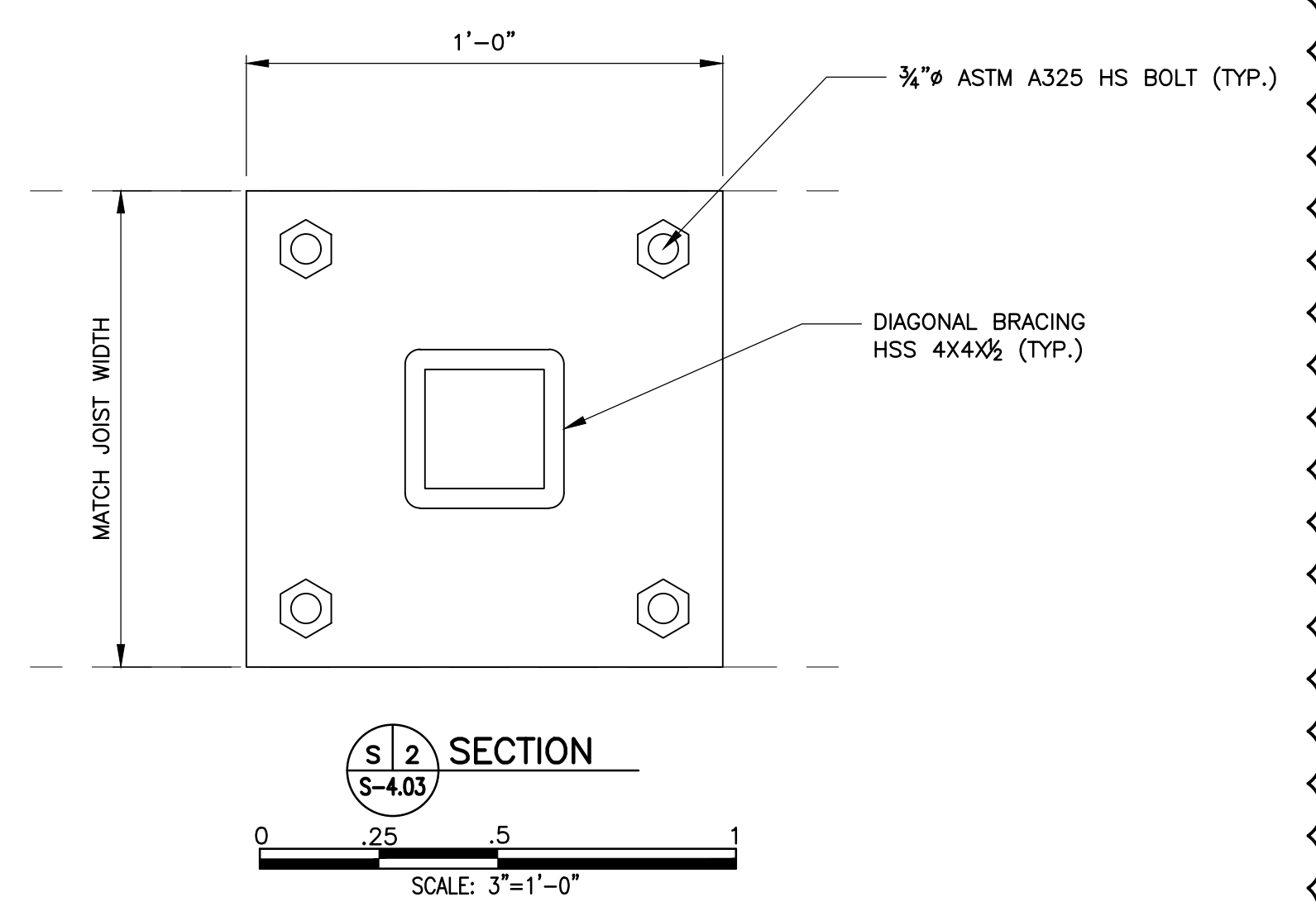
S 5
S-2.03 SECTION

SCALE: 3/4" = 1'-0"



S 1
S-4.03 SECTION

SCALE: 3" = 1'-0"



S 2
S-4.03 SECTION

SCALE: 3" = 1'-0"

Revisions:	
1	ADDENDUM 1 02/23/2023
NY Certificate of Authorization	
Eng'r. No.	6278878
Arch. No.	A2124
Date	01/20/23
Checked	GA
Drawn	HD

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SECTIONS & DETAILS
 CLEVELAND STREET ELEMENTARY SCHOOL
 ORANGE BOARD OF EDUCATION
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 ORANGE, NEW JERSEY 07050

Job No. 20206.01
 File No.

S-4.03

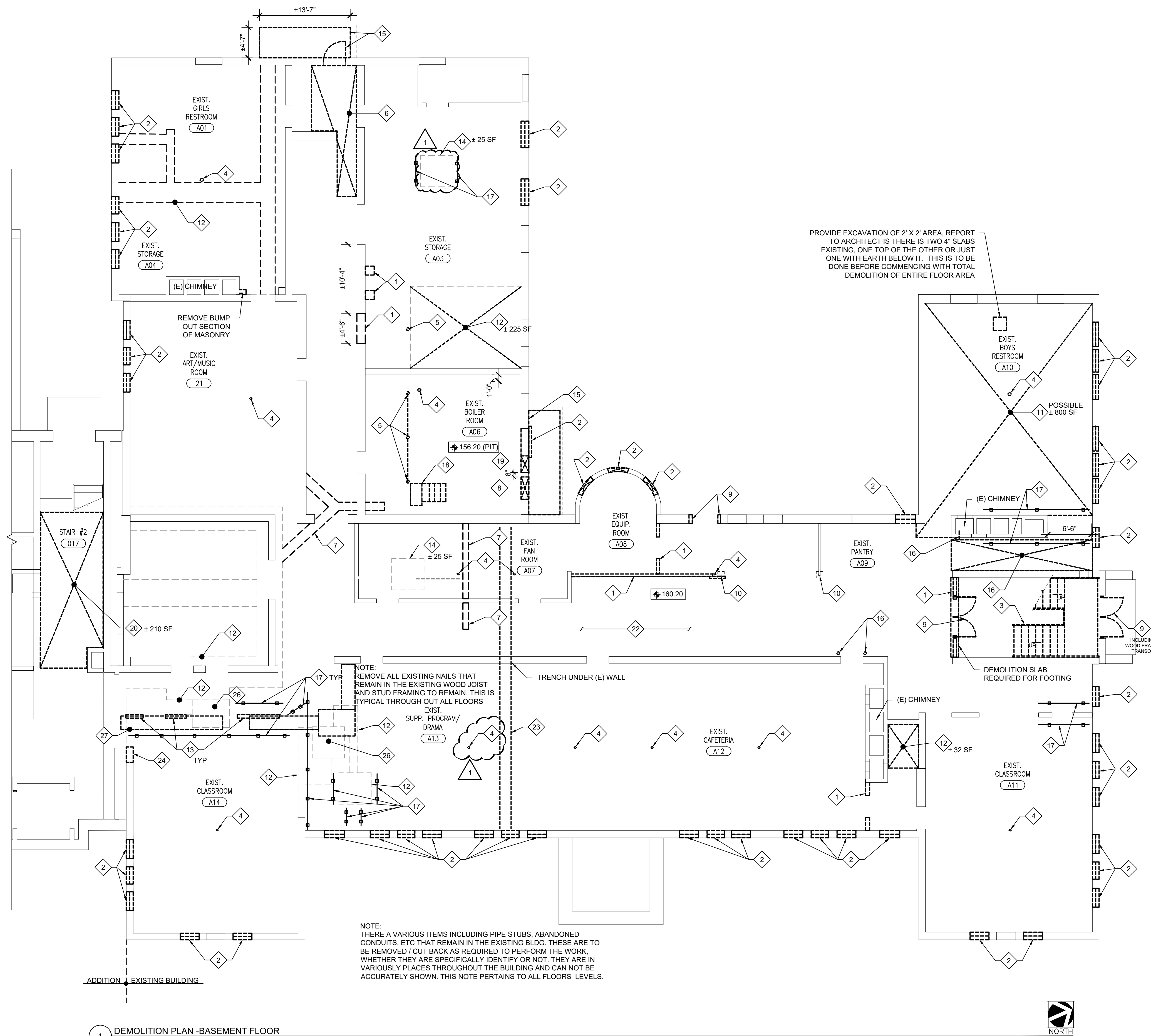
State Project#: 3880-070-01-0969-S DCA PROJECT # : 6506-18

General Notes

- CONTRACTOR SHALL FIELD VERIFY ALL EXISTING AND PROPOSED DIMENSIONS PRIOR TO INSTALLATION/CONSTRUCTION.
- WHERE REQUIRED DUE TO DEMOLITION, CONTRACTOR SHALL SATISFACTORILY PATCH, REPAIR AND OR REPLACE EXISTING CONSTRUCTION.
- G.C. TO PROTECT, REPAIR & CLEAN ALL "EXISTING TO REMAIN" ITEMS AS NEEDED.
- ALL EXISTING TEMPORARY OPENING PROTECTION (WOOD/PLYWOOD DOORS & COVERS) SHALL BE REMOVED/DEMOLISHED ONCE THE OPENING PROTECTION IS REPLACED W/ THE PERMANENT WINDOW/DOOR.
- CONTRACTOR TO ENSURE TEMPORARY SUPPORT STRUCTURE IS IN PLACE IN ANY AREAS OF DEMOLISHED WALLS / FRAMING PRIOR TO DEMOLITION WHETHER OR NOT IT IS SHOWN ON THE PLANS.
- REMOVE ALL EXISTING WOOD DOOR FRAMING LEFT BEHIND FROM PREVIOUS DOOR DEMOLITION. THIS OCCURS IN ALL EXISTING MASONRY DOOR OPENINGS.
- REFER TO STRUCTURAL DRAWINGS FOR NEW LINTELS REQUIRED.
- REMOVE ALL EXISTING NAILS THAT REMAIN IN THE EXISTING WOOD JOIST AND STUD FRAMING TO REMAIN. THIS IS TYPICAL THROUGH OUT ALL FLOORS.
- PAINT IS PEELING OFF EXISTING BRICK WALLS. ALL LEAD BASED PAINT COATING TO BE SCRAPED AND PAINTED PER OSHA RRP

Demolition Key Notes

- DEMOLISH EXISTING WALL CONSTRUCTION (ONLY AFTER CONSTRUCTION OF NEW STRUCTURAL LINTEL / FRAMING) AS REQUIRED. G.C. TO PROVIDE TEMPORARY STRUCTURAL SHORING AND TO PATCH AND REPAIR ADJACENT SURFACES TO REMAIN.
- REMOVE EXISTING WINDOW SYSTEM AND/OR MASONRY / WOOD CLOSURE PANEL IN THEIR ENTIRETY. G.C. TO PATCH AND PREPARE SURFACES TO REMAIN TO ACCEPT NEW SCOPE OF WORK.
- DEMOLISH EXISTING STAIR SYSTEM, RAILINGS, LANDINGS AND ALL ASSOCIATED ITEMS TO BE DEMOLISHED IN THEIR ENTIRETY. G.C. TO PATCH (E) BRICK MASONRY WALLS, INCLUDING PATCHING OF ALL VOIDS IN MASONRY & MORTAR AND REPOINTING MORTAR JOINTS WHICH CONTAIN LOOSE OR MISSING MORTAR. REFER TO SHEET A2.01 FOR MORE INFORMATION.
- PROTECT EXISTING COLUMN TO REMAIN THROUGHOUT THE DURATION OF DEMOLITION AND CONSTRUCTION. EXISTING COLUMNS ARE PAINTED WITH LEAD BASED PAINT WHICH IS PEELING. ALL LEAD BASED PAINT COATING TO BE SCRAPED AND PAINTED PER OSHA RRP.
- REMOVE (E) GUARDRAIL & POSTS.
- REMOVE WOOD RAMP AND FLOORING
- REMOVE EXISTING TRENCH COVER PLATES AND STEEL FRAMING. INFILL TRENCH WITH CONCRETE, FLUSH WITH ADJACENT CONCRETE FLOOR. REFER TO DETAIL S7 ON STRUCTURAL DWG. S-3.03
- REMOVE EXISTING LOUVER SYSTEM AND FRAMING. DEMO EXISTING BRICK MASONRY AS REQUIRED TO ACCOMMODATE NEW DOOR. PREPARE SURFACES TO REMAIN TO ACCEPT NEW SCOPE OF WORK. PROVIDE LINTEL PER STRUCTURAL DWGS.
- REMOVE EXISTING DOOR AND FRAMING. PATCH & PREPARE REPAIR SURFACES TO ACCOMMODATE NEW WORK.
- EXISTING STEEL FRAMING TO REMAIN.
- REMOVE EXISTING TOP CONCRETE SLAB. IF DIRECTED BY ARCHITECT AFTER TEST EXCAVATION; REMOVE LOWER SLAB ALSO. REMOVE EARTH DOWN TO A LEVEL TO INSTALL A 4" CONCRETE SLAB WITH SUB BASE FLUSH EXISTING BASEMENT FLOOR
- REMOVE EXISTING EARTH DOWN TO LEVEL REQUIRED FOR A COMPACTED BASE AND INSTALLATION OF 4" CONCRETE SLAB INFILL FLUSH WITH EXISTING CONCRETE FLOOR. REFER TO STRUCTURAL DRAWINGS.
- REMOVE EXISTING BRICK MASONRY WALL. CONSTRUCTION AFTER INSTALLATION OF TEMPORARY STRUCTURAL SHORING. REFER TO STRUCTURAL DWGS.
- INFILL CONCRETE FLUSH WITH BASEMENT CONCRETE FLOOR AFTER INSTALLATION OF NEW STRUCTURAL COLUMN.
- REMOVE EXISTING METAL ACCESS DOOR. EXCAVATE AREA REQUIRED FOR NEW DOORS AND STAIRWAY. REMOVE LOWER SECTION OF MASONRY WALL TO ACCOMMODATE INSTALLATION OF NEW DOORS AND EXTERIOR STAIRS. PROVIDE LINTEL PER STRUCTURAL DWGS
- REMOVE EXISTING CORRUGATED METAL AND DRYWALL ON CEILING AND VARIOUS PIPING/ CONDUIT LEFTOVER FROM PREVIOUS DEMOLITION. PATCH WALLS / FLOORS, FILLING ALL VOIDS IN EXISTING BRICK MASONRY WALLS TO BE FLUSH WITH FACE OF BRICK.
- EXISTING SHORING. CONTRACTOR TO VERIFY EXISTING SHORING IS SOUND PRIOR TO PROCEEDING WITH NEW WORK. SHORING TO REMAIN IN PLACE UNTIL ALL RELATED STRUCTURAL WORK IS COMPLETE, AT WHICH TIME IT WILL DEMOLISHED
- DEMOLISH EXISTING CONCRETE STEPS INTO PIT. PREPARE ALL CONCRETE SLAB SURFACES AND EDGES OF PIT AREA TO RECEIVE NEW WORK.
- REMOVE SECTION OF EXISTING MASONRY OPENING TO SUIT INSTALLATION ON NEW MECHANICAL LOUVER. PROVIDE LINTEL PER STRUCTURAL DWGS.
- REMOVE EXISTING SECTION OF CONCRETE SLAB. PREPARE AREA FOR NEW CONCRETE SLAB
- NOTE IS VOIDED.
- EXISTING LEAD BASED FLOOR COATING WITH IN GROUND FLOOR CORRIDORS AND LEAD BASED WALL COATING THROUGHOUT SECOND FLOOR TO BE SCRAPED & STABILIZED PER OSHA RRP GUIDELINES. ONCE COMPLETE, PROVIDE A SELF-LEVELING COAT TO ACHIEVE A SMOOTH FINISH THROUGHOUT GROUND FLOOR PRIOR TO APPLICATION OF SCHEDULED FINISH FLOOR.
- PROVIDE TRENCH FOR TWO (2) 4" FOR VERIZON FIOS CONDUITS. TRENCH MUST ALLOW FOR 12" BETWEEN CONDUITS.
- REMOVE SECTION OF EXISTING MASONRY WALL TO SUIT NEW CONSTRUCTION. PROVIDE LINTEL PER STRUCTURAL DWGS
- NOTE VOIDED
- REMOVE EXISTING FOOTINGS
- SAWCUT (E) CONCRETE SLAB FOR NEW FOOTING. REFER TO STRUCTURAL DRAWINGS



PROVIDE EXCAVATION OF 2' X 2' AREA, REPORT TO ARCHITECT IS THERE IS TWO 4" SLABS EXISTING, ONE TOP OF THE OTHER OR JUST ONE WITH EARTH BELOW IT. THIS IS TO BE DONE BEFORE COMMENCING WITH TOTAL DEMOLITION OF ENTIRE FLOOR AREA

NOTE: REMOVE ALL EXISTING NAILS THAT REMAIN IN THE EXISTING WOOD JOIST AND STUD FRAMING TO REMAIN. THIS IS TYPICAL THROUGH OUT ALL FLOORS

NOTE: THERE ARE VARIOUS ITEMS INCLUDING PIPE STUBS, ABANDONED CONDUITS, ETC THAT REMAIN IN THE EXISTING BLDG. THESE ARE TO BE REMOVED / CUT BACK AS REQUIRED TO PERFORM THE WORK, WHETHER THEY ARE SPECIFICALLY IDENTIFY OR NOT. THEY ARE IN VARIOUSLY PLACES THROUGHOUT THE BUILDING AND CAN NOT BE ACCURATELY SHOWN. THIS NOTE PERTAINS TO ALL FLOORS LEVELS.

1 DEMOLITION PLAN - BASEMENT FLOOR
1/8"=1'-0"

Revisions:	
1	ADDENDUM 1 02/23/2023

Eng'r. No.	GA27878
Arch. No.	AC124
Date	11/04/22
Checked	RS
Drawn	DB

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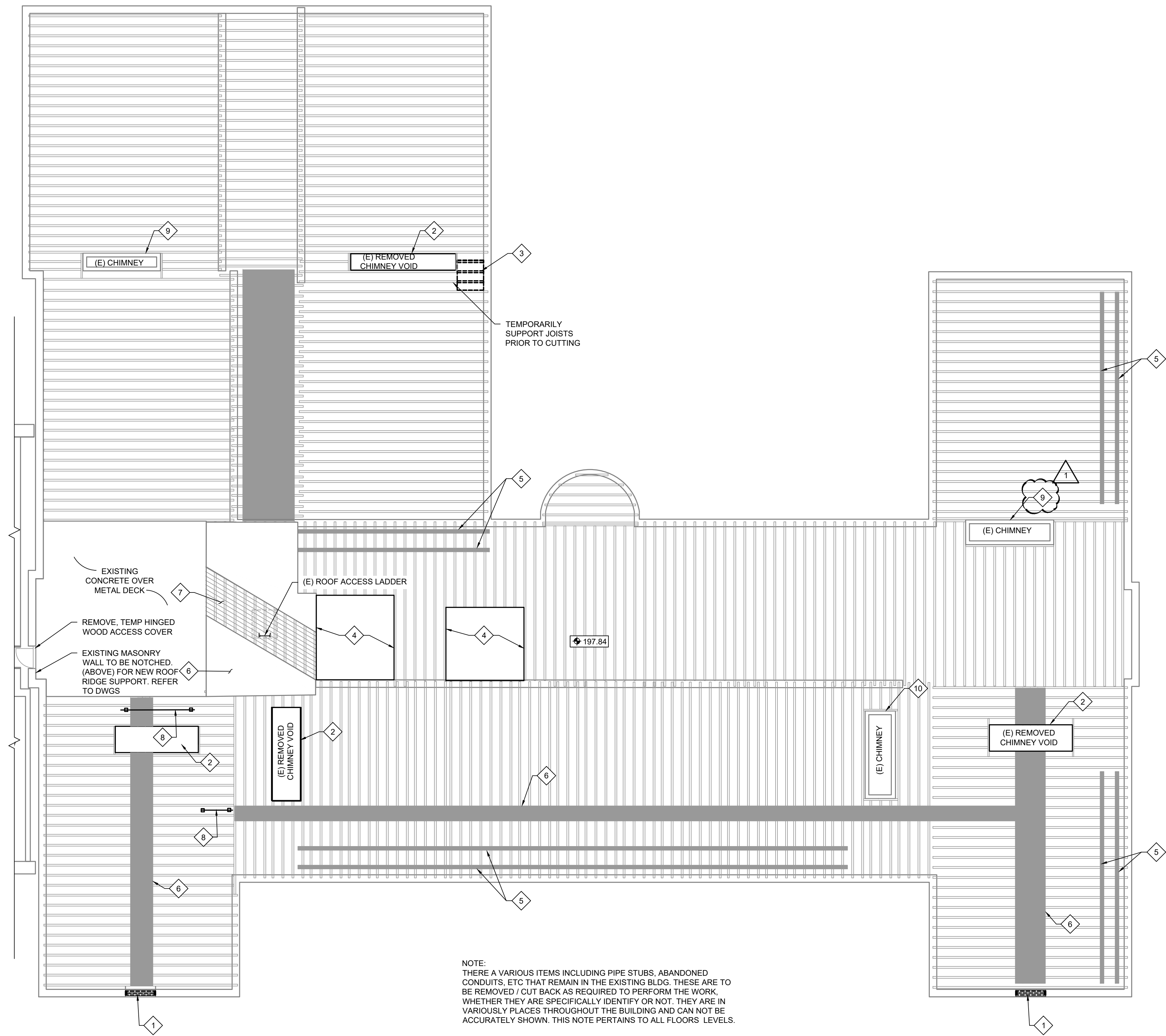
State Project#: 3880-070-01-0969-S DCA Project#: 6506-18

DEMOLITION PLAN - GROUND FLOOR
CLEVELAND STREET ELEMENTARY SCHOOL
ORANGE BOARD OF EDUCATION
355 CLEVELAND STREET
ORANGE, NEW JERSEY 07050

Job No. 20206.01
File No. 2020601A108
A1.01

- General Notes**
1. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING AND PROPOSED DIMENSIONS PRIOR TO INSTALLATION/CONSTRUCTION.
 2. WHERE REQUIRED DUE TO DEMOLITION, CONTRACTOR SHALL SATISFACTORILY PATCH, REPAIR AND/OR REPLACE EXISTING CONSTRUCTION.
 3. G.C. TO PROTECT, REPAIR & CLEAN ALL "EXISTING TO REMAIN" ITEMS AS NEEDED.
 4. ALL EXISTING TEMPORARY OPENING PROTECTION (WOODPLYWOOD DOORS & COVERS) SHALL REMAIN IN PLACE AND SHALL ONLY BE REMOVED/DEMOLISHED CONCURRENT WITH INSTALLATION OF THE PERMANENT WINDOW/DOOR.
 5. THERE ARE EXISTING, DISCONNECTED FIRE ALARM DEVICES LOCATED THROUGHOUT THE ATTIC SPACE. ALL EXISTING DEVICES, WIRING, AND ASSOCIATED BACK BOXES SHALL BE REMOVED IN THEIR ENTIRETY.

- Demolition Key Notes**
- 1 REMOVE EXISTING WINDOW SYSTEM IN ITS ENTIRETY. G.C. TO PATCH AND PREPARE SURFACES TO REMAIN TO ACCEPT NEW SCOPE OF WORK.
 - 2 EXISTING FRAMED OPENINGS FROM PREVIOUSLY DEMOLISHED CHIMNEYS.
 - 3 REMOVE (E) ATTIC FRAMING TO ACCOMMODATE NEW BOILER STACK AND FIRE RESISTANCE RATED SHAFT.
 - 4 EXISTING AREA OF CUT ATTIC JOIST FRAMING.
 - 5 EXISTING WOOD FRAMED ATTIC RAFTER SUPPORTS TO REMAIN.
 - 6 EXISTING WOOD PLANKING.
 - 7 EXISTING DIAGONAL SUB-FLOOR PLANKS ARE ANCHORED TO EXISTING ATTIC FLOOR JOISTS AND SUPPORT EXISTING ROOF ACCESS LADDER.
 - 8 EXISTING SHORING. CONTRACTOR TO VERIFY EXISTING SHORING IS STRUCTURALLY SOUND PRIOR TO PROCEEDING WITH NEW WORK. SHORING TO REMAIN IN PLACE UNTIL ALL RELATED STRUCTURAL WORK IS COMPLETE, AT WHICH TIME IT SHALL BE DEMOLISHED.
 - 9 DEMOLISH EXISTING CHIMNEY TO 3'-0" ABOVE HIGH ROOF LEVEL AND INSTALL 4" PRECAST CAP WITH DOWELS INTO CHIMNEY WALL.
 - 10 CUT CHIMNEY DOWN TO 4'-0" ABOVE ATTIC FLOOR. REFER TO A2.04



1 DEMOLITION PLAN - ATTIC
1/8"=1'-0"



State Project#: 3880-070-01-0969-S DCA Project#: 6506-18

Revisions:
1 ADDENDUM 1 02/23/2023

NI Certificate of Authorization
Eng'r. No. GZ7878
Arch. No. A2124
Date 11/04/22
Checked RS
Drawn DB

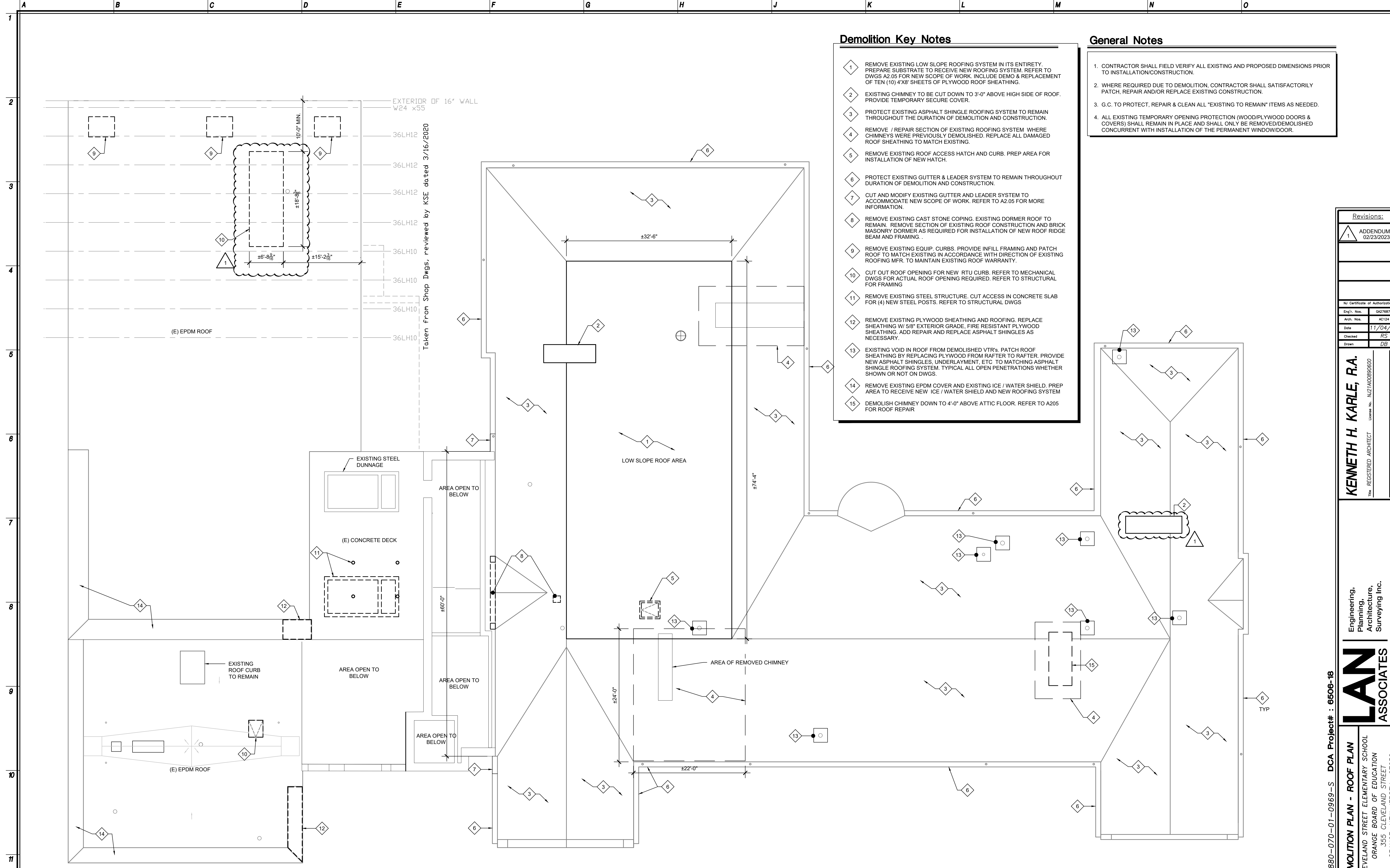
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DEMOLITION PLAN - ATTIC PLAN
CLEVELAND STREET ELEMENTARY SCHOOL
ORANGE BOARD OF EDUCATION
355 CLEVELAND STREET
ORANGE, NEW JERSEY 07050

Job No. 20206.01
File No. 2020601A1010

A1.04



Demolition Key Notes

- 1 REMOVE EXISTING LOW SLOPE ROOFING SYSTEM IN ITS ENTIRETY. PREPARE SUBSTRATE TO RECEIVE NEW ROOFING SYSTEM. REFER TO DWGS A2.05 FOR NEW SCOPE OF WORK. INCLUDE DEMO & REPLACEMENT OF TEN (10) 4'X8' SHEETS OF PLYWOOD ROOF SHEATHING.
- 2 EXISTING CHIMNEY TO BE CUT DOWN TO 3'-0" ABOVE HIGH SIDE OF ROOF. PROVIDE TEMPORARY SECURE COVER.
- 3 PROTECT EXISTING ASPHALT SHINGLE ROOFING SYSTEM TO REMAIN THROUGHOUT THE DURATION OF DEMOLITION AND CONSTRUCTION.
- 4 REMOVE / REPAIR SECTION OF EXISTING ROOFING SYSTEM WHERE CHIMNEYS WERE PREVIOUSLY DEMOLISHED. REPLACE ALL DAMAGED ROOF SHEATHING TO MATCH EXISTING.
- 5 REMOVE EXISTING ROOF ACCESS HATCH AND CURB. PREP AREA FOR INSTALLATION OF NEW HATCH.
- 6 PROTECT EXISTING GUTTER & LEADER SYSTEM TO REMAIN THROUGHOUT DURATION OF DEMOLITION AND CONSTRUCTION.
- 7 CUT AND MODIFY EXISTING GUTTER AND LEADER SYSTEM TO ACCOMMODATE NEW SCOPE OF WORK. REFER TO A2.05 FOR MORE INFORMATION.
- 8 REMOVE EXISTING CAST STONE COPING. EXISTING DORMER ROOF TO REMAIN. REMOVE SECTION OF EXISTING ROOF CONSTRUCTION AND BRICK MASONRY DORMER AS REQUIRED FOR INSTALLATION OF NEW ROOF RIDGE BEAM AND FRAMING.
- 9 REMOVE EXISTING EQUIP. CURBS. PROVIDE INFILL FRAMING AND PATCH ROOF TO MATCH EXISTING IN ACCORDANCE WITH DIRECTION OF EXISTING ROOFING MFR. TO MAINTAIN EXISTING ROOF WARRANTY.
- 10 CUT OUT ROOF OPENING FOR NEW RTU CURB. REFER TO MECHANICAL DWGS FOR ACTUAL ROOF OPENING REQUIRED. REFER TO STRUCTURAL FOR FRAMING
- 11 REMOVE EXISTING STEEL STRUCTURE. CUT ACCESS IN CONCRETE SLAB FOR (4) NEW STEEL POSTS. REFER TO STRUCTURAL DWGS
- 12 REMOVE EXISTING PLYWOOD SHEATHING AND ROOFING. REPLACE SHEATHING W/ 5/8" EXTERIOR GRADE, FIRE RESISTANT PLYWOOD SHEATHING. ADD REPAIR AND REPLACE ASPHALT SHINGLES AS NECESSARY.
- 13 EXISTING VOID IN ROOF FROM DEMOLISHED VTR's. PATCH ROOF SHEATHING BY REPLACING PLYWOOD FROM RAFTER TO RAFTER. PROVIDE NEW ASPHALT SHINGLES, UNDERLAYMENT, ETC TO MATCHING ASPHALT SHINGLE ROOFING SYSTEM. TYPICAL ALL OPEN PENETRATIONS WHETHER SHOWN OR NOT ON DWGS.
- 14 REMOVE EXISTING EPDM COVER AND EXISTING ICE / WATER SHIELD. PREP AREA TO RECEIVE NEW ICE / WATER SHIELD AND NEW ROOFING SYSTEM
- 15 DEMOLISH CHIMNEY DOWN TO 4'-0" ABOVE ATTIC FLOOR. REFER TO A205 FOR ROOF REPAIR

General Notes

- 1. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING AND PROPOSED DIMENSIONS PRIOR TO INSTALLATION/CONSTRUCTION.
- 2. WHERE REQUIRED DUE TO DEMOLITION, CONTRACTOR SHALL SATISFACTORILY PATCH, REPAIR AND/OR REPLACE EXISTING CONSTRUCTION.
- 3. G.C. TO PROTECT, REPAIR & CLEAN ALL "EXISTING TO REMAIN" ITEMS AS NEEDED.
- 4. ALL EXISTING TEMPORARY OPENING PROTECTION (WOOD/PLYWOOD DOORS & COVERS) SHALL REMAIN IN PLACE AND SHALL ONLY BE REMOVED/DEMOLISHED CONCURRENT WITH INSTALLATION OF THE PERMANENT WINDOW/DOOR.

Revisions:	
1	ADDENDUM 1 02/23/2023

NJ Certificate of Authorization	
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Job No. 20206.01
 File No. 2020601A111

A1.05

1 ROOF DEMOLITION PLAN
 1/8"=1'-0"



General Notes

- ALL METAL STUD WALLS OVER 12'-6" A.F.F. IN HEIGHT SHALL BE 16 GA.
- ALL INTERIOR PARTITIONS DIMENSIONS ARE FROM FINISH FACE TO FINISH FACE
- PROVIDE AND INSTALL NEW DOORS AND OPENINGS IN EXISTING WALLS AS INDICATED ON PLANS AND IN THE DOOR SCHEDULE. PROVIDE LINTELS, MIN. 8" BEARING ON EACH SIDE. REFER TO STRUCTURAL DRAWINGS FOR LINTEL SIZES AND LOCATIONS.
- EXISTING WINDOWS TO BE REPLACED. REFER TO A6.05 FOR NEW WINDOW TYPES.
- CONCRETE INFILL SANITARY PIPING TRENCHING REFER TO PLUMBING DRAWINGS.
- EXISTING LEAD BASED FLOOR COATING WITH IN GROUND FLOOR CORRIDORS AND LEAD BASED WALL COATING THROUGHOUT SECOND FLOOR TO BE SCRAPPED & STABILIZED PER OSHA RRP GUIDELINES. ONCE COMPLETE, PROVIDE A SELF-LEVELING COAT TO ACHIEVE A SMOOTH FINISH THROUGHOUT ENTIRE GROUND FLOOR OR EXISTING BUILDING PRIOR TO APPLICATION OF SCHEDULED FINISH FLOOR.
- EXISTING PLYWOOD SUBFLOOR IS NOT SECURED PROPERLY IN MANY AREAS. CONTRACTOR TO INSPECT AND SCREW DOWN AREAS SECURELY (16" O.C. STAGGERED)
- ALL BOILER ROOM WALL PENETRATIONS, NEW AND EXISTING, ARE TO BE FIRESTOPPED
- ALL WINDOWS ON GROUND FLOOR SHALL RECEIVE FIELD APPLIED 4M SECURITY FILM ON INTERIOR.

Drawing Annotations

- PROVIDE 3" TYPE 'X' GWB ON UNDERSIDE OF EXISTING CEILING FRAMING AND FIRESTOP ALL JOINTS. THIS APPLIES TO THE ENTIRE GROUND & 1ST FLOOR AREAS OF EXISTING BUILDING. 2ND FLOOR CEILING TO RECEIVE 2 LAYERS. REFER TO DWG A-6.10A, FIRESTOP ALL PENETRATIONS.
- EXISTING COLUMNS TO REMAIN, REFER TO 11/A6.09
- NEW COLUMN, REFER TO 11/A6.09 & STRUCTURAL DWGS
- NOT USED
- PROVIDE AND INSTALL NEW WINDOW AND FRAME AS SPECIFIED. REFER TO WINDOW SCHEDULE ELEVATIONS FOR FURTHER DETAILS. REFER TO STRUCTURAL DRAWINGS FOR LINTEL INFORMATION.
- INFILL EXISTING MASONRY CHIMNEY OPENINGS TO MATCH ADJACENT SURFACES AND EXISTING THICKNESS, PRIOR TO INSTALLATION OF PARTITIONS. REFER TO PARTITION TYPES ON A6.06 FOR MORE INFORMATION.
- INFILL BOILER PIT AREA TO MAKE FLOOR SLAB FLUSH WITH ADJACENT FLOOR LEVEL. APPLY ARDEX K-15 SELF LEVELER (OR APPROVED EQUAL) TO PROVIDE A SMOOTH TRANSITION BETWEEN NEW FLOOR SLAB LEVEL AND EXISTING FLOOR SLAB LEVEL. PREPARE FLOOR SLAB TO RECEIVE FINISH FLOORING. REFER TO STRUCTURAL DRAWINGS AND FINISH PLAN FOR MORE INFORMATION.
- PROVIDE AND INSTALL 3M WINDOW FILM ON ALL GROUND FLOOR WINDOWS.
- INFILL (E) TRENCHES FLUSH W/ (E) CONCRETE. FLASH PATCH SMOOTH TO EXISTING CONCRETE FLOOR. SOME AREAS NOT SHOWN FOR CLARITY. REFER TO A1.01
- PROVIDE 4" THICK CONCRETE SLAB FLUSH WITH GROUND FLOOR LEVEL.
- INSTALL CAST STONE CAP ON (E) WALL PER DETAILS.
- PROVIDE AND INSTALL NEW PREFABRICATED CANOPY. REFER TO SHEET A6.10 FOR MORE INFORMATION.
- PROVIDE AND INSTALL ACOUSTICAL WALL PANELS.
- PROVIDE AND INSTALL NEW SURFACE MOUNTED AED CABINET WITH ALARM & STROBE (MODEL #: 180-2021-101). INSTALL IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
- INFILL EXISTING MASONRY OPENING PER DETAIL 6/A6.10A
- VERIZON FIOS 4" CONDUIT UP TO SERVER ROOM ABOVE
- CONTRACTOR TO COORDINATE WITH ELECTRICAL DWGS FOR LOCATION OF ELECTRICAL FLOOR BOXES; TRENCH (E) CONC. SLABS & PATCH AS REQUIRED TO COMPLETE INSTALL.
- NOTE VOIDED.
- PROVIDE NEOPRENE PAD ON GUARDRAIL POST AT GATE HITTING POINT
- PROVIDE & INSTALL ACOUSTIC WALL SOUND ABSORBING WALL WALL PANELS FULL WIDTH OF WALL. REFER TO SPECIFICATION

Legend

SYMBOL	DESCRIPTION
	EXISTING DOOR TO REMAIN
	NEW DOOR
	EXISTING WALL TO REMAIN
	NEW METAL STUD / GWB WALL, REFER TO A6.06 FOR DETAIL
	NEW CMU WALL, REFER TO A6.06 FOR DETAILS
	EXTERIOR BRICK TO MATCH EXISTING BRICK, WITH CMU BACK UP. REFER TO 6/A6.10A
	PARTITION TYPE, REFER TO DWG A6.06
	DOOR NUMBER
	WINDOW TYPE
	THESE ARE FIRE RATED WINDOWS THAT HAVE ALREADY BEEN DELIVERED AND ARE ON SITE. G.C. TO INSTALL.
	ROOM NAME AND NUMBER
	ELEVATION OR DETAIL NUMBER
	REFERENCE DRAWING NUMBER

Revisions:

ADDENDUM 1	02/23/2023

NJ Certificate of Authorization
 Eng'r. No. GZ27878
 Arch. No. A214
 Date 11/04/22
 Checked RS
 Drawn DB

KENNETH H. KARLE, R.A.
 REGISTERED ARCHITECT
 License No. NJ21A0090600

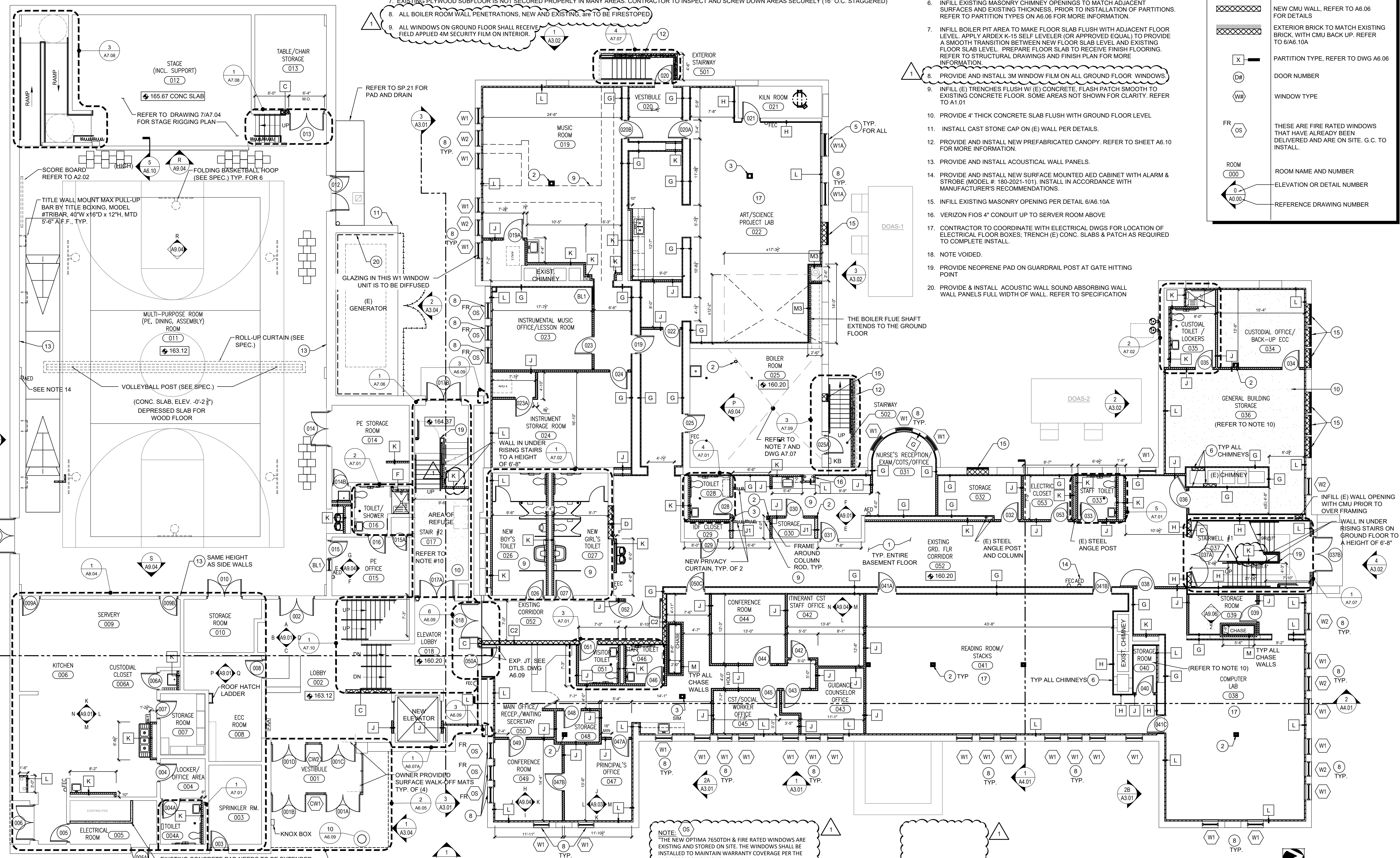
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LAN ASSOCIATES
 445 Goodwin Ave Ste 9, Midland Park, NJ 07432 | 1.201-447-6400 | 1.201-447-1233

State Project#: 3880-070-01-0969-S DCA Project#: 6506-18
GROUND FLOOR PROPOSED PLAN
 CLEVELAND STREET ELEMENTARY SCHOOL
 ORANGE BOARD OF EDUCATION
 355 CLEVELAND STREET
 ORANGE, NEW JERSEY 07050

Job No. 20206.01
 File No. 2020601A201

A2.01



1 PROPOSED PLAN - GROUND FLOOR
 1/8"=1'-0"

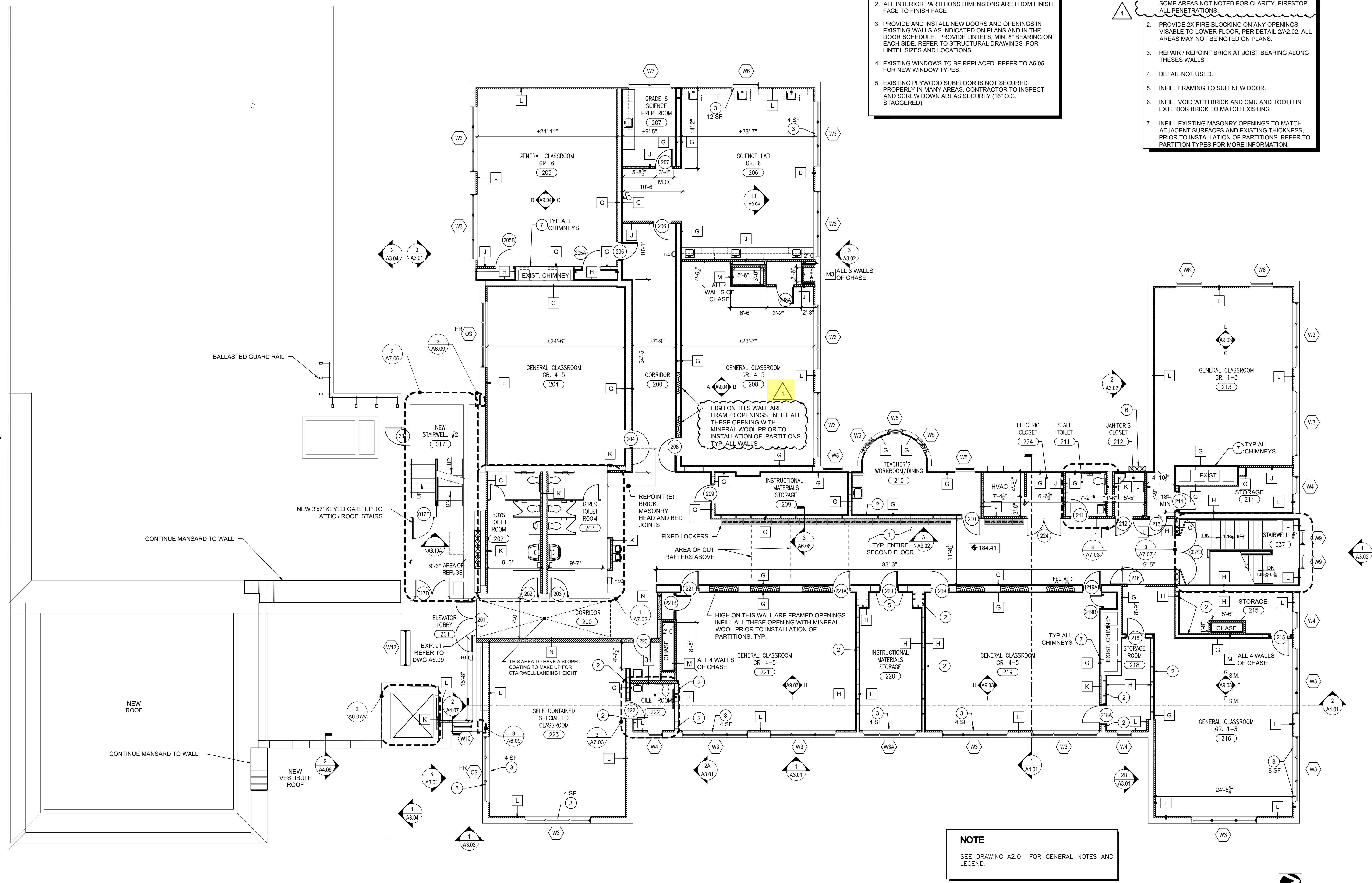
NOTE: OS
 THE NEW OPTIMA 7650TDH & FIRE RATED WINDOWS ARE EXISTING AND STORED ON SITE. THE WINDOWS SHALL BE REFERRED TO MAINTAIN WARRANTY COVERAGE PER THE PROJECT SPECIFICATIONS.

General Notes

1. ALL METAL STUD WALLS OVER 12'-6" A.F.F. IN HEIGHT SHALL BE 16 GA.
2. ALL INTERIOR PARTITIONS DIMENSIONS ARE FROM FINISH FACE TO FINISH FACE
3. PROVIDE AND INSTALL NEW DOORS AND OPENINGS IN EXISTING WALLS AS INDICATED ON PLANS AND IN THE DOOR SCHEDULE. PROVIDE LINTELS, MIN. 8" BEARING ON EACH SIDE. REFER TO STRUCTURAL DRAWINGS FOR LINTEL SIZES AND LOCATIONS.
4. EXISTING WINDOWS TO BE REPLACED. REFER TO A6.05 FOR NEW WINDOW TYPES.
5. EXISTING PLYWOOD SUBFLOOR IS NOT SECURED PROPERLY IN MANY AREAS. CONTRACTOR TO INSPECT AND SCREW DOWN AREAS SECURELY (16" O.C. STAGGERED)

Drawing Annotations

1. PROVIDE 2 LAYERS OF 5/8" TYPE "X" GWB ON EXISTING CEILING FRAMING. FIRE TAPE ALL JOINTS. THIS APPLIES TO THE ENTIRE EXISTING 2ND FLOOR AREA. SOME AREAS NOT NOTED FOR CLARITY. FIRESTOP ALL PENETRATIONS.
2. PROVIDE 2X FIRE-BLOCKING ON ANY OPENINGS VISIBLE TO LOWER FLOOR, PER DETAIL 2/A2.02. ALL AREAS MAY NOT BE NOTED ON PLANS.
3. REPAIR / REPOINT BRICK AT JOIST BEARING ALONG THESE WALLS
4. DETAIL NOT USED.
5. INFILL FRAMING TO SUIT NEW DOOR.
6. INFILL VOID WITH BRICK AND CMU AND TOOTH IN EXTERIOR BRICK TO MATCH EXISTING
7. INFILL EXISTING MASONRY OPENINGS TO MATCH ADJACENT SURFACES AND EXISTING THICKNESS. PRIOR TO INSTALLATION OF PARTITIONS. REFER TO PARTITION TYPES FOR MORE INFORMATION.



NOTE
SEE DRAWING A2.01 FOR GENERAL NOTES AND LEGEND.

1 PROPOSED PLAN - SECOND FLOOR
1/8"=1'-0"



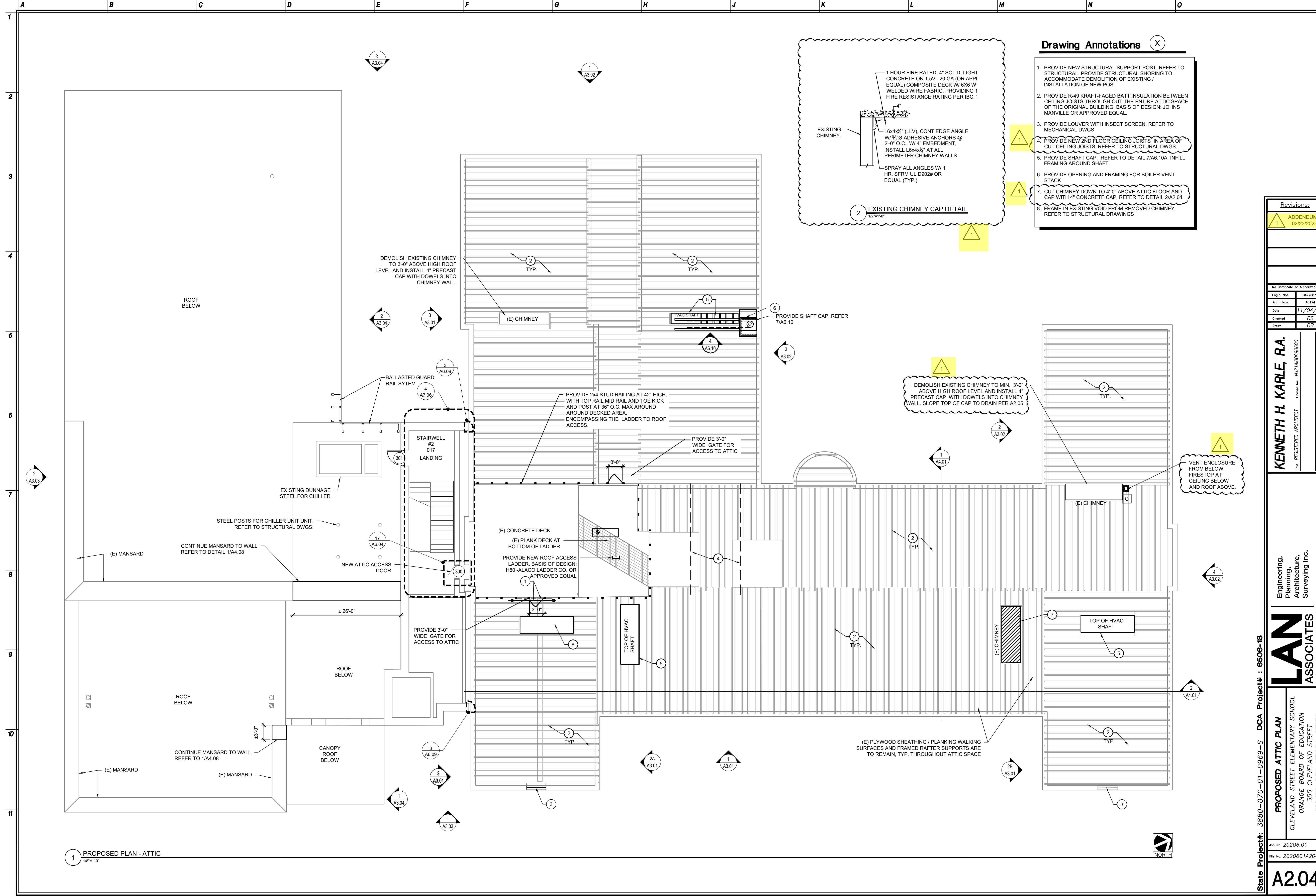
Revisions:
 1 ADDENDUM 1
 02/23/2023

Professional Seal:
 KENNETH H. KARLE, R.A.
 License No. NJ21A00896600
 The Registered Architect

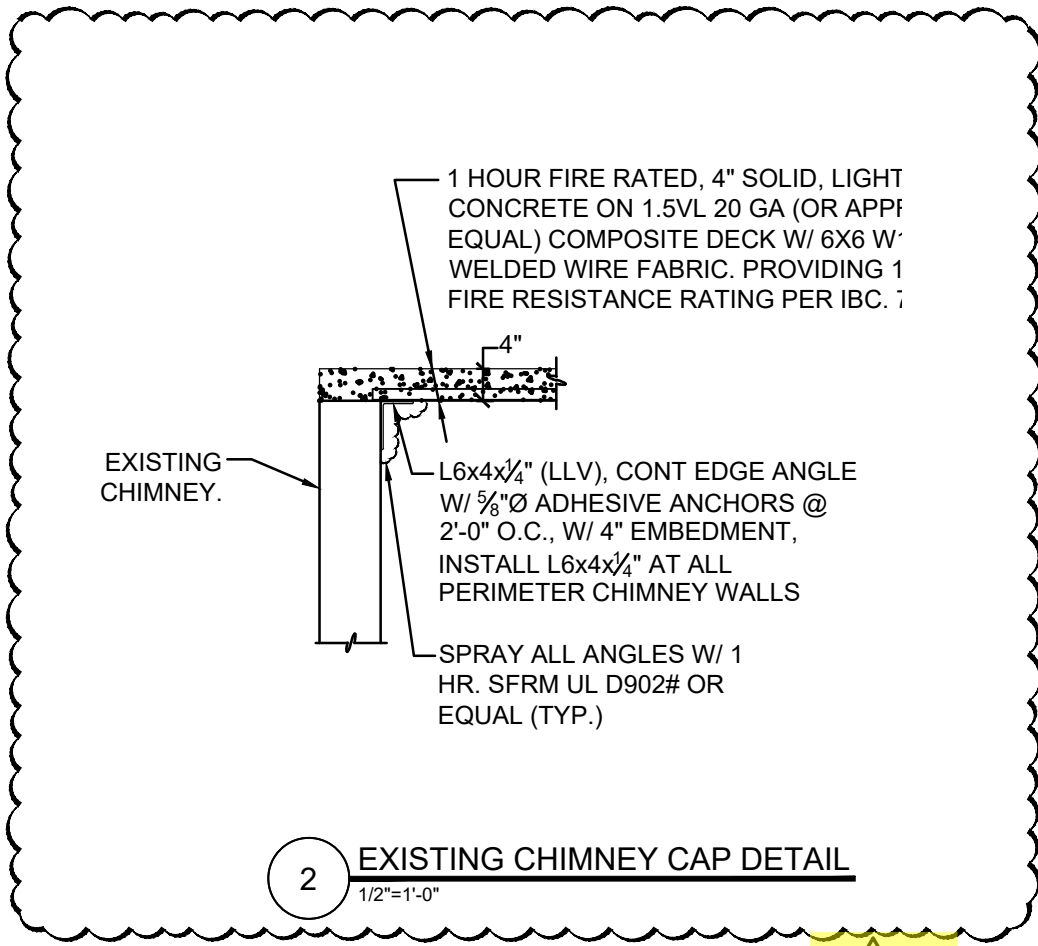
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 445 Goodwin Ave Ste 9, Midland Park, NJ 07432 | T. 201-447-6400 | F. 201-447-1233

State Project#: 3880-070-01-0969-S DCA Project#: 6506-18
SECOND FLOOR PROPOSED PLAN
 CLEVELAND STREET ELEMENTARY SCHOOL
 ORANGE BOARD OF EDUCATION
 355 CLEVELAND STREET
 ORANGE, NEW JERSEY 07050

Job No. 20206.01
 File No. 2020601A203
A2.03



- Drawing Annotations** X
1. PROVIDE NEW STRUCTURAL SUPPORT POST, REFER TO STRUCTURAL. PROVIDE STRUCTURAL SHORING TO ACCOMMODATE DEMOLITION OF EXISTING / INSTALLATION OF NEW POS
 2. PROVIDE R-49 KRAFT-FACED BATT INSULATION BETWEEN CEILING JOISTS THROUGH OUT THE ENTIRE ATTIC SPACE OF THE ORIGINAL BUILDING. BASIS OF DESIGN: JOHNS MANVILLE OR APPROVED EQUAL.
 3. PROVIDE LOUVER WITH INSECT SCREEN. REFER TO MECHANICAL DWGS
 4. PROVIDE NEW 2ND FLOOR CEILING JOISTS IN AREA OF CUT CEILING JOISTS. REFER TO STRUCTURAL DWGS.
 5. PROVIDE SHAFT CAP. REFER TO DETAIL 7/A6.10A, INFILL FRAMING AROUND SHAFT.
 6. PROVIDE OPENING AND FRAMING FOR BOILER VENT STACK
 7. CUT CHIMNEY DOWN TO 4'-0" ABOVE ATTIC FLOOR AND CAP WITH 4" CONCRETE CAP. REFER TO DETAIL 2/A2.04
 8. FRAME IN EXISTING VOID FROM REMOVED CHIMNEY. REFER TO STRUCTURAL DRAWINGS



1 PROPOSED PLAN - ATTIC
1/8"=1'-0"

Revisions:

1	ADDENDUM 1	02/23/2023
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NJ Certificate of Authorization
 Eng'r. No. GQ27878
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KENNETH H. KARLE, R.A.
 THE REGISTERED ARCHITECT License No. NJ21A00890600

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State Project#: 3880-070-01-0969-S DCA Project#: 6506-1B
PROPOSED ATTIC PLAN
 CLEVELAND STREET ELEMENTARY SCHOOL
 ORANGE BOARD OF EDUCATION
 355 CLEVELAND STREET
 ORANGE, NEW JERSEY 07050

Job No. 20206.01
 File No. 2020601A204
A2.04

General Roofing Notes:

- CONTRACTOR SHALL PROVIDE NEW WOOD NAILERS TO REPLACE ANY DETERIORATED EXISTING WOOD NAILERS AS PART OF THIS CONTRACT. THERE WILL BE NO ADDITIONAL MONIES PAID FOR ANY NAILERS. NAILERS SHALL BE PRESSURE TREATED WOOD.
- CONTRACTOR SHALL PROVIDE NEW ROOF DRAINS AT ALL LOCATIONS INDICATED ON THE DRAWINGS. ROOF DRAINS SHALL HAVE UNDER DECK CLAMP, EXTENSION RING, SUMP RECEIVER, SHALL BE OF CAST IRON BODY CONSTRUCTION WITH COMBINED FLASHING CLAMP AND GRAVEL STOP AND CAST IRON DOME. VERIFY EXISTING LEADER SIZES IN FIELD.
- ALL SURFACES, CONCRETE DECK/WOOD DECKS, MUST BE DRY, SMOOTH, CLEAN, RIGID AND FREE FROM DEBRIS, LOOSE MATERIALS, PROJECTIONS AND HOLES WHICH MIGHT CAUSE RUPTURE OF THE ROOFING. WET DECK AREAS THAT ARE NOT DRIED SUFFICIENTLY BEFORE INSTALLATION OF NEW ROOF, SHALL BE DRIED WITH HOT AIR BLOWERS OR BY WHATEVER MEANS TO ASSURE A DRY INSTALLATION.
- CONTRACTOR SHALL NOT REMOVE ANY MORE ROOFING FROM THE BUILDING AT ANY ONE TIME THAT CANNOT BE REPLACED THE SAME DAY.

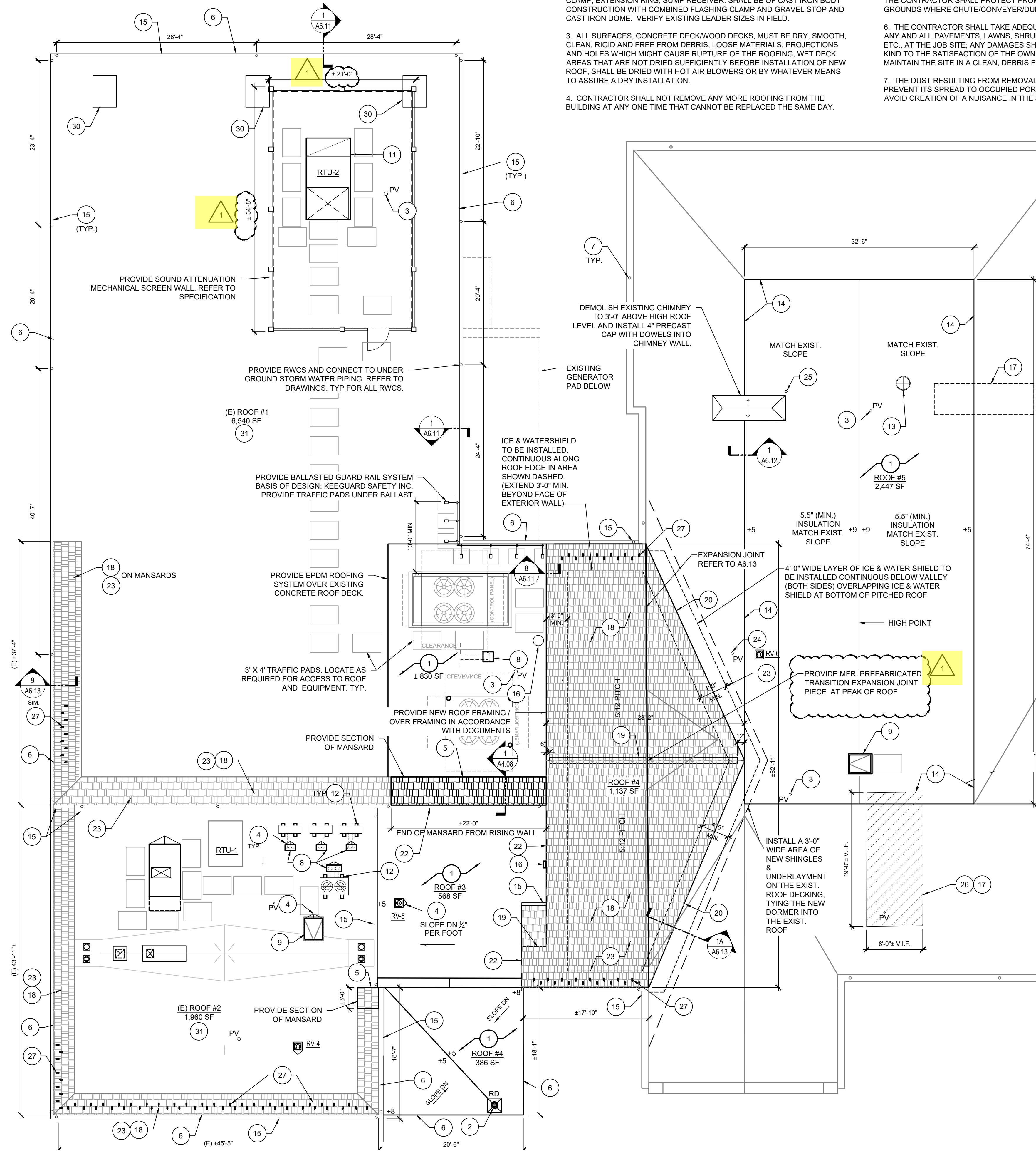
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER AND SAFE REMOVAL OF ANY DEBRIS OR ROOFING MATERIALS FROM THE ROOF. NO MATERIAL SHALL BE THROWN OR DUMPED OFF THE ROOF LEVEL. BUT RATHER THE CONTRACTOR MUST INSTALL AND MAINTAIN A CHUTE OR A CONVEYER FOR THE PLACEMENT OF DEBRIS INTO THE TRASH DUMPSTER. DUMPSTER(S) SHALL BE POSITIONED IN A MANNER TO PRECLUDE VANDALS ACCESS TO THE ROOF LEVEL, BY CLIMBING ON TOP OF SUCH EQUIPMENT. THE CONTRACTOR SHALL PROTECT FROM DAMAGE THE BUILDING AND GROUNDS WHERE CHUTE/CONVEYER/DUMPSTER/KETTLE IS USED.
- THE CONTRACTOR SHALL TAKE ADEQUATE PRECAUTIONS TO PROTECT ANY AND ALL PAVEMENTS, LAWNS, SHRUBS, TREES, BUILDING SURFACES, ETC., AT THE JOB SITE; ANY DAMAGES SHALL BE REPAIRED OR REPLACED IN KIND TO THE SATISFACTION OF THE OWNER. THE CONTRACTOR SHALL MAINTAIN THE SITE IN A CLEAN, DEBRIS FREE CONDITION.
- THE DUST RESULTING FROM REMOVALS SHALL BE CONTROLLED SO AS TO PREVENT ITS SPREAD TO OCCUPIED PORTIONS OF THE BUILDING AND TO AVOID CREATION OF A NUISANCE IN THE SURROUNDING AREA.

- GREAT CARE SHOULD BE TAKEN TO PREVENT ANY DEBRIS FROM FALLING INTO THE ROOF DRAINAGE SYSTEMS WHILE CONSTRUCTION IS IN PROGRESS. ANY DRAINS THAT ARE NOT 100% OPERATIONAL AT THE END OF CONSTRUCTION WILL BE DEEMED THE RESPONSIBILITY OF THE ROOFING CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL REPAIRS AT NO ADDITIONAL COST TO THE OWNER.
- INSTALL CANT STRIPS AT LOCATIONS WHERE MEMBRANE TRANSITIONS FROM HORIZONTAL TO VERTICAL. SET CANT STRIPS IN CONTINUOUS BED OF FLASHING CEMENT ON BOTH HORIZONTAL AND VERTICAL SURFACES. USE NEW WOOD CANT STRIPS AT ALL NEW EXPANSION JOINT CURBS.
- CONTRACTOR SHALL BE RESPONSIBLE TO FIELD VERIFY LOCATION AND QUANTITY OF ALL ROOF DRAINS AND ROOF PENETRATIONS. CONTRACTOR SHALL FIELD VERIFY BUILDING DIMENSIONS PRIOR TO START OF WORK.
- CONTRACTOR SHALL VERIFY EXISTING ROOF DRAINS LEADERS AND UNDERGROUND DRAINAGE IS FREE FLOWING, WATER TIGHT AND 100% OPERATIONAL PRIOR TO INSTALLATION OF NEW ROOF. UPON COMPLETION

- OF WORK CONTRACTOR SHALL INCLUDE IN THE ROOFING GUARANTEE THAT THE REFERENCED WORK IS IN ACCORDANCE WITH SAME.
- CONTRACTOR SHALL FIELD VERIFY LOCATIONS OF LOOSE-LAID CONDUIT AND/OR CABLES ENCOUNTERED ON ROOF, WHETHER OR NOT SHOWN. VERIFY USE WITH OWNER. RE-SECURE LOOSE CONDUIT UPON COMPLETION OF NEW ROOF.
- ALL NEW ROOF DRAIN PIPING SHALL BE INSULATED WITH 1" FIBERGLASS INSULATION WITH WHITE PAPER LAMINATE JACKET. INSULATION SHALL BE JOHNS MANVILLE MICRO LOCK FIBERGLASS PIPE INSULATION WITH ALL PURPOSE AP JACKETS OR APPROVED EQUAL. LONGITUDINAL LAPS OF JACKETS ON PIPING SHALL BE WRAPPED WITH MINIMUM 3" WIDE BUTT STRAPS OF JACKETING MATERIAL SECURELY SEALED IN PLACE WITH VAPOR BARRIER ADHESIVE. INSULATION SHALL INCLUDE ALL FLANGES, FITTING, VALVES, EXPANSION JOINTS, VENTS, ETC. THAT MAKE UP THAT PART OF THE ROOF DRAIN SYSTEM. CONTRACTOR SHALL PROVIDE ALL NECESSARY FITTING AND ADAPTERS, ETC.

Roof Construction Key Notes

- PROVIDE & INSTALL NEW FULLY ADHERED 60 MIL EPDM ROOFING SYSTEM FROM CARLISLE OR APPROVED EQUAL. REFER TO DRAWINGS AND SPECIFICATION FOR ADDITIONAL INFORMATION.
- INSTALL NEW ROOF DRAINS, TYPICAL. CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AROUND DRAINS & TROUGHS.
- PROVIDE NEW PLUMBING VENT FLASHING & PATCH (E) ROOF AS REQUIRED TO INSTALL FLASHING.
- PROVIDE & INSTALL 1/2" CRICKETS AS REQUIRED FOR POSITIVE DRAINAGE AROUND EQUIPMENT RAILS, DUCT PENETRATIONS AND CURBS.
- EXTEND MANSARD PER DETAIL 1/A4.08
- PROVIDE & INSTALL WOOD BLOCKING AND METAL ROOF EDGE AND FASCIA PER DETAILS. REFER TO DWG A6.11.
- EXISTING DOWNSPOUTS & LEADERS TO REMAIN. PROVIDE NEW CAST IRON BOOTS PROTECT THROUGHOUT DURATION OF DEMOLITION AND CONSTRUCTION.
- PROVIDE & INSTALL PIPE PORTAL PER DETAIL 10/A6.11 FOR CONDUITS ASSOCIATED WITH ROOF MOUNTED MECH UNITS.
- PROVIDE & INSTALL NEW ROOF ACCESS HATCH, GUARD RAIL & ROOF CURB PER DETAIL 6/A6.12
- PROVIDE BASE WALL FLASHING.
- PROVIDE ROOF CURB FOR RTU, FLASH INTO EXISTING ROOF AND MAINTAIN EXISTING ROOF WARRANTY.
- PROVIDE NEW RAIL CURB.
- PROVIDE HEAT STACK FLASHING PER DETAIL 11/A6.11
- PROVIDE & INSTALL NEW ROOF TRANSITION FLASHING. PER DETAIL 1/A6.12
- PROVIDE & INSTALL NEW GUTTER / DOWNSPOUT ASSEMBLY PER DETAILS
- AM / FM ANTENNA. ANTENNA BOX TO BE 5'-0" TO CENTER
- PROVIDE FRAMING AND 3" PLYWOOD ROOF DECK IN AREA OF DEMOLISHED CHIMNEY. PROVIDE ASPHALT SHINGLE ROOFING SYSTEM TO MATCH EXISTING.
- PROVIDE & INSTALL NEW ASPHALT SHINGLE ROOF SYSTEM. INSTALL IN ACCORDANCE WITH MANUFACTURE'S RECOMMENDATIONS.
- PROVIDE AND INSTALL NEW ROOF RIDGE VENT PER 7/A6.13. INSTALL IN ACCORDANCE WITH MFR. RECOMMENDATIONS.
- INSTALL NEW SHINGLE ROOF VALLEY PER 1A/A6.13
- INSTALL NEW SHINGLE ROOF STEP FLASHING PER 3/A6.13
- INSTALL NEW WALL FLASHING
- PROVIDE & INSTALL NEW ICE/WATER SHIELD - SEE DETAIL 6/A6.13 FOR ADDITIONAL INFORMATION. REMOVE EXISTING BARRIER FOUND.
- PROVIDE & INSTALL NEW ASPHALT SHINGLE PLUMBING VENT BOOT FLASHING ON ALL VTR'S PENETRATING THE ROOF. TYP
- LIGHTNING PROTECTION MAST. REFER TO ELEC. DWGS. FOR ADDITIONAL INFORMATION.
- REMOVE AND REPLACE EXISTING ROOFING AND WATER DAMAGED SHEATHING. PROVIDE FRAMING TO INFILL VOIDS. REPLACE RIDGE CAP/SINGLES & TIE INTO EXIST. COLOR TO MATCH EXIST.
- PROVIDE & INSTALL NEW ALPINE ANODIZED ALUM. SNOW GUARDS - MODEL #PD30Z OR APPROVED EQUAL. ABOVE ALL EXTERIOR DOORS. COLOR TO BE DOUBLE SIDED DARK BRONZE.
- NOT USED
- PROVIDE 3" PLYWOOD ROOF DECK FROM JOIST TO JOIST NAILER BRACE AT SEAMS FROM JOIST TO JOIST. PROVIDE ASPHALT SHINGLE ROOFING SYSTEM ROOF IN AREA OF DEMOLISHED CHIMNEY. REFER TO A6.13.
- PATCH ROOF DECK AND ROOFING AT DEMOLISHED ROOF CURBS. WORK SHALL MAINTAIN (E) ROOF WARRANTY
- CONTRACTOR TO HAVE A THERMAL SCAN OF EXISTING AREAS COVERED WITH EPDM ON THE ADDITION. AREAS OF MOISTURE PENETRATION TO BE DOCUMENTED AND REPORTED TO



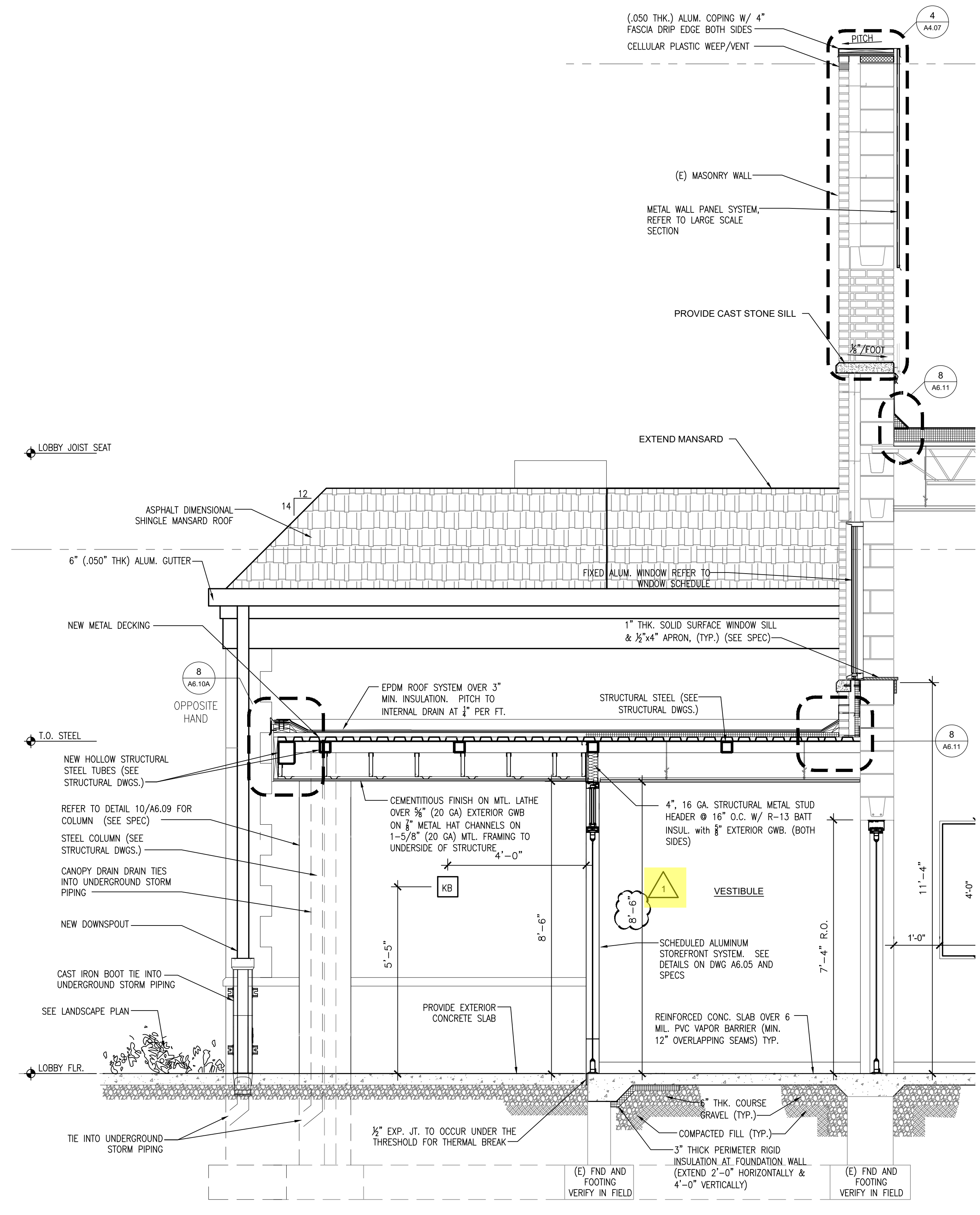
1 PROPOSED PLAN - ROOF
1/8"=1'-0"

Revisions:	
1	ADDENDUM 1 02/23/2023
Professional Seal Area	
NU Certificate of Authorization	Eng'g. No. GZ27678
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Engineering, Planning, Architecture, Surveying Inc. LAN ASSOCIATES 445 Goodwin Ave Ste 9, Midland Park, NJ 07432 1.201-447-6400 1.201-447-1233	
State Project#: 3880-070-01-0969-S DCA Project#: 6506-18	PROPOSED ROOF PLAN
Job No. 20206.01	CLEVELAND STREET ELEMENTARY SCHOOL
File No. 2020601A203	ORANGE BOARD OF EDUCATION
	355 CLEVELAND STREET
	ORANGE, NEW JERSEY 07050
	A2.05

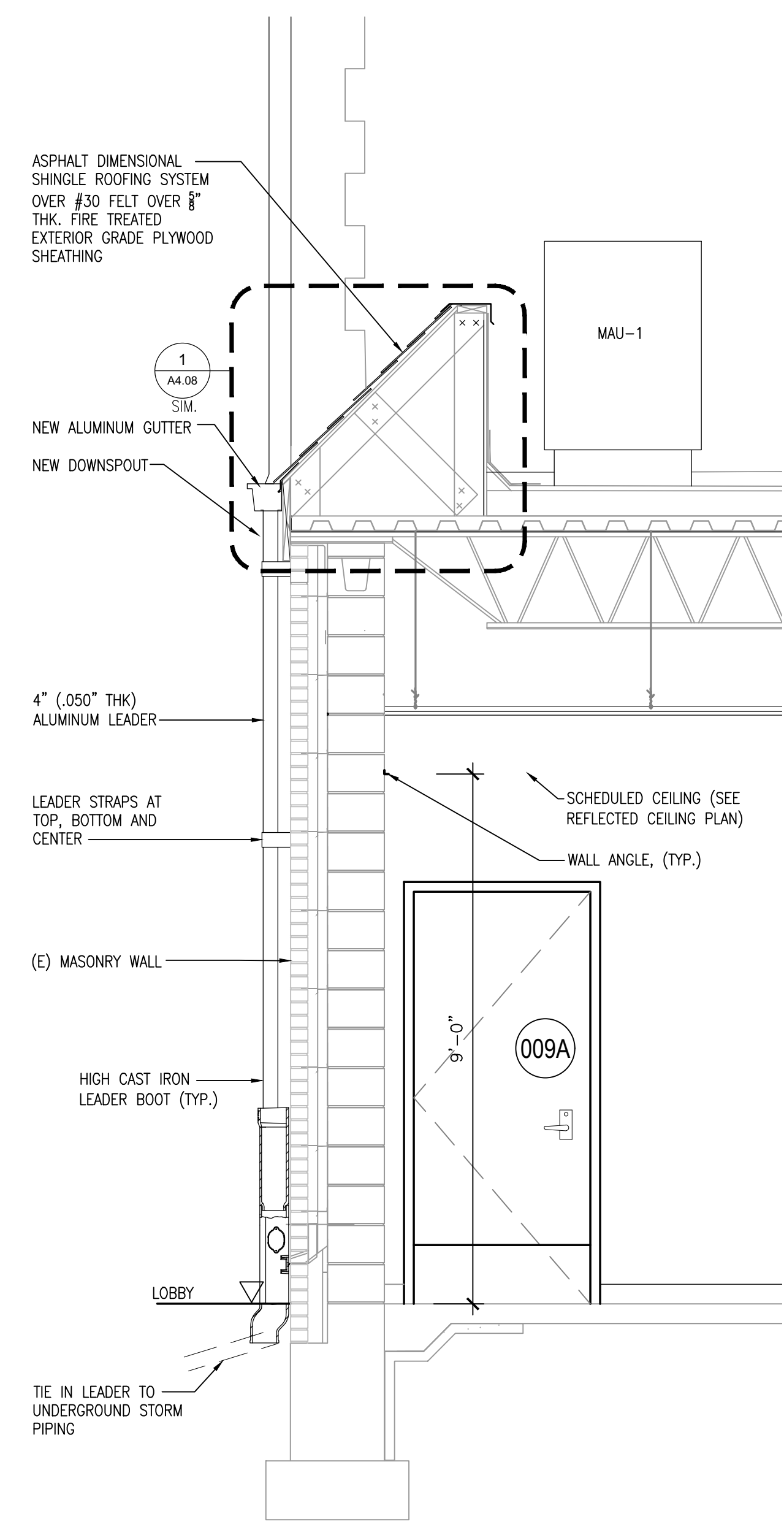


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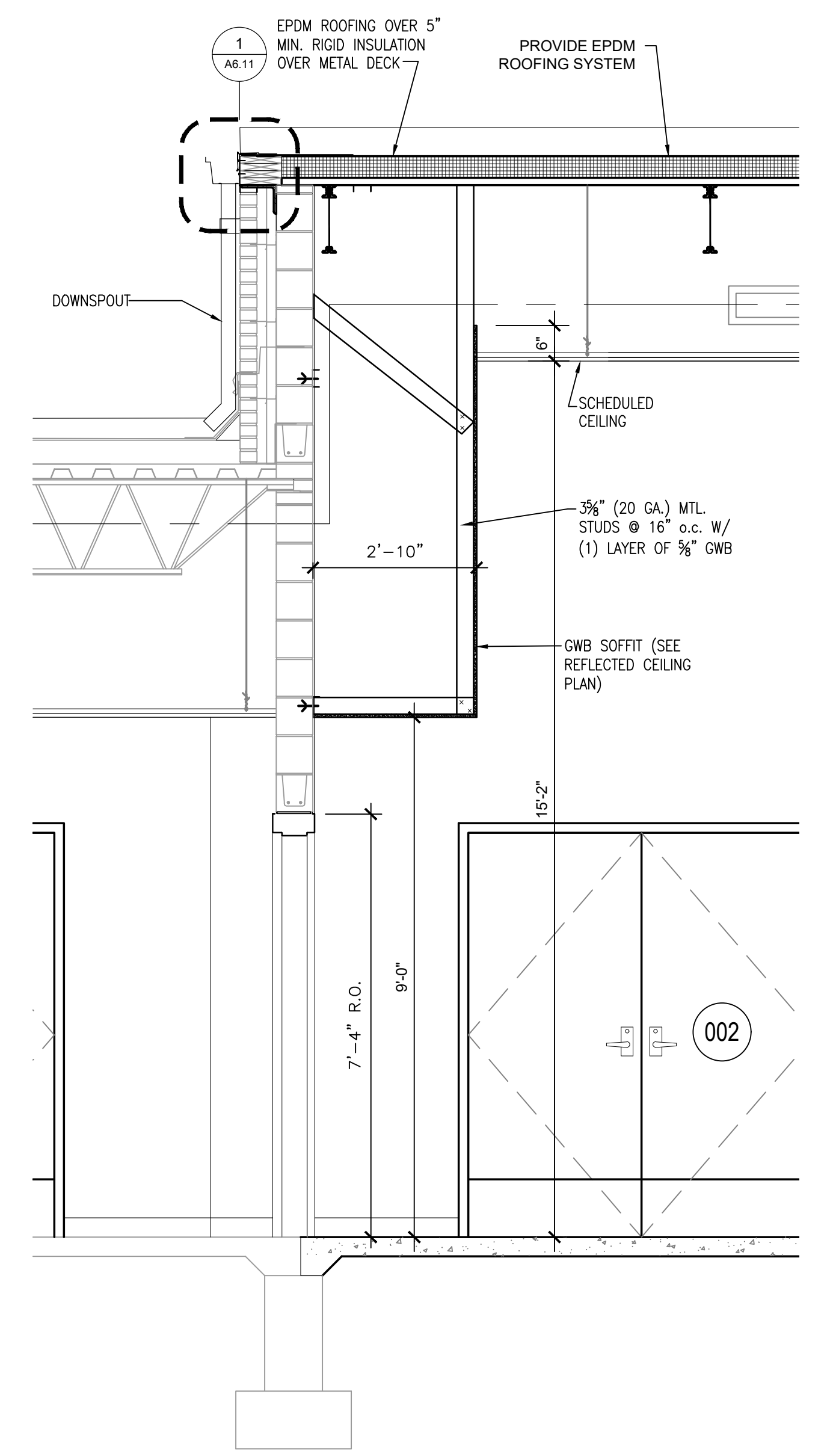
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1 ENLARGED SECTION THRU ENTRANCE
1/2"=1'-0"

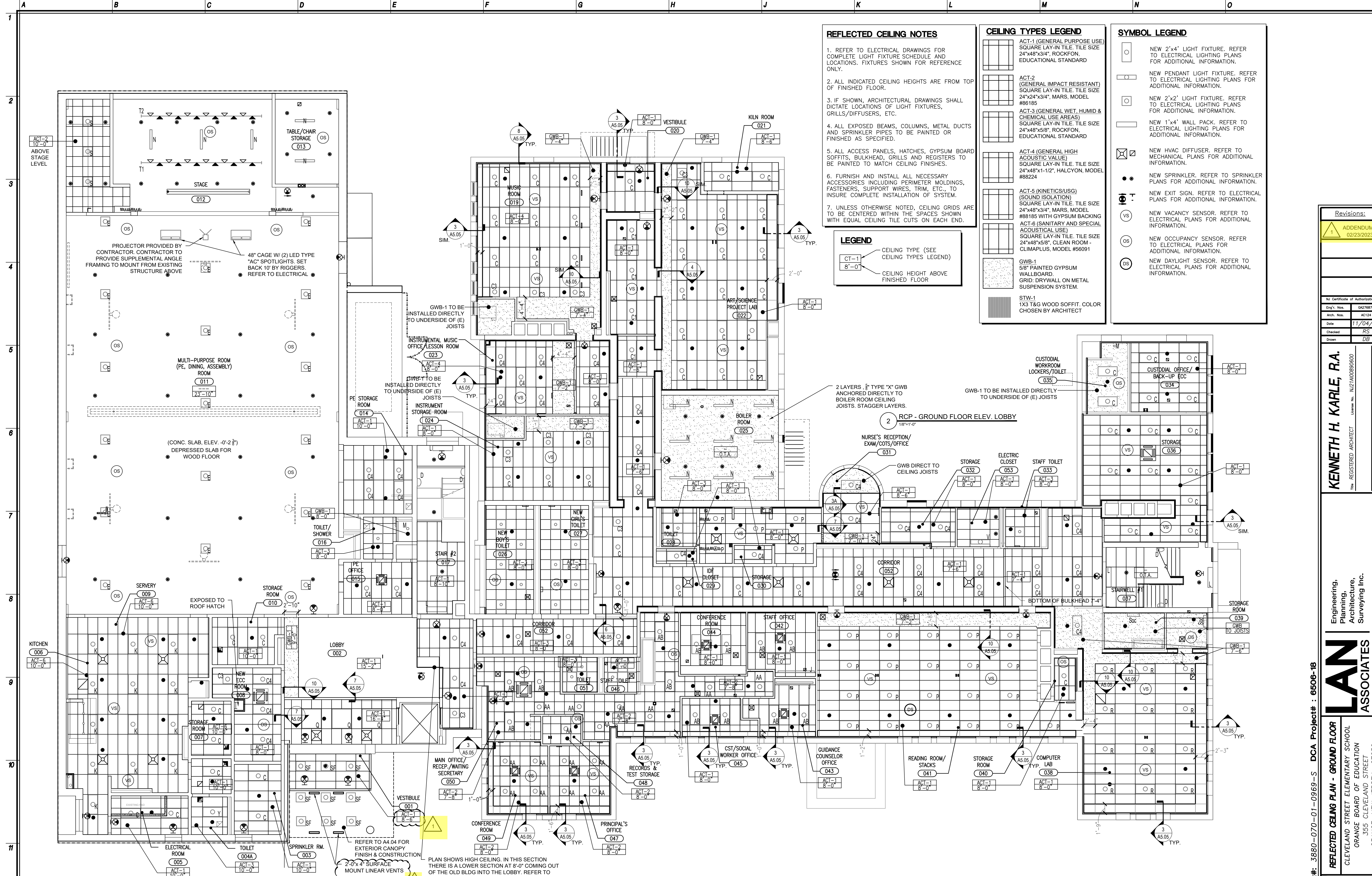


2 WALL SECTION
1/2"=1'-0"



3 WALL SECTION
1/2"=1'-0"

Revisions:	
1	ADDENDUM 1 02/23/2023
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LAN ASSOCIATES Engineering, Planning, Architecture, Surveying Inc. 445 Godwin Ave Ste 9, Midland Park, NJ 07432 1-201-447-8400 1-201-447-1233	
State Project#: 3880-070-01-0969-S DCA Project#: 6506-18	
PARTIAL BUILDING SECTIONS CLEVELAND STREET ELEMENTARY SCHOOL ORANGE BOARD OF EDUCATION 355 CLEVELAND STREET ORANGE, NEW JERSEY 07050	
Job No.	20206.01
File No.	2020601A404
A4.04	



REFLECTED CEILING NOTES

- REFER TO ELECTRICAL DRAWINGS FOR COMPLETE LIGHT FIXTURE SCHEDULE AND LOCATIONS. FIXTURES SHOWN FOR REFERENCE ONLY.
- ALL INDICATED CEILING HEIGHTS ARE FROM TOP OF FINISHED FLOOR.
- IF SHOWN, ARCHITECTURAL DRAWINGS SHALL DICTATE LOCATIONS OF LIGHT FIXTURES, GRILLS/DIFFUSERS, ETC.
- ALL EXPOSED BEAMS, COLUMNS, METAL DUCTS AND SPRINKLER PIPES TO BE PAINTED OR FINISHED AS SPECIFIED.
- ALL ACCESS PANELS, HATCHES, GYPSUM BOARD SOFFITS, BULKHEAD, GRILLS AND REGISTERS TO BE PAINTED TO MATCH CEILING FINISHES.
- FURNISH AND INSTALL ALL NECESSARY ACCESSORIES INCLUDING PERIMETER MOLDINGS, FASTENERS, SUPPORT WIRES, TRIM, ETC., TO INSURE COMPLETE INSTALLATION OF SYSTEM.
- UNLESS OTHERWISE NOTED, CEILING GRIDS ARE TO BE CENTERED WITHIN THE SPACES SHOWN WITH EQUAL CEILING TILE CUTS ON EACH END.

CEILING TYPES LEGEND

- ACT-1 (GENERAL PURPOSE USE) SQUARE LAY-IN TILE. TILE SIZE 24"x48"x3/4", ROCKFON, EDUCATIONAL STANDARD
- ACT-2 (GENERAL IMPACT RESISTANT) SQUARE LAY-IN TILE. TILE SIZE 24"x24"x3/4", MARS, MODEL #86185
- ACT-3 (GENERAL WET, HUMID & CHEMICAL USE AREAS) SQUARE LAY-IN TILE. TILE SIZE 24"x48"x5/8", ROCKFON, EDUCATIONAL STANDARD
- ACT-4 (GENERAL HIGH ACOUSTIC VALUE) SQUARE LAY-IN TILE. TILE SIZE 24"x48"x1-1/2", HALCYON, MODEL #88224
- ACT-5 (KINETICS/USG) (SOUND ISOLATION) SQUARE LAY-IN TILE. TILE SIZE 24"x48"x3/4", MARS, MODEL #86185 WITH GYPSUM BACKING
- ACT-6 (SANITARY AND SPECIAL ACOUSTICAL USE) SQUARE LAY-IN TILE. TILE SIZE 24"x48"x5/8", CLEAN ROOM - CLIMAPLUS, MODEL #56091
- GWB-1 5/8" PAINTED GYPSUM WALLBOARD. GRID: DRYWALL ON METAL SUSPENSION SYSTEM.
- STW-1 1X3 T&G WOOD SOFFIT. COLOR CHOSEN BY ARCHITECT

SYMBOL LEGEND

- NEW 2'x4' LIGHT FIXTURE. REFER TO ELECTRICAL LIGHTING PLANS FOR ADDITIONAL INFORMATION.
- NEW PENDANT LIGHT FIXTURE. REFER TO ELECTRICAL LIGHTING PLANS FOR ADDITIONAL INFORMATION.
- NEW 2'x2' LIGHT FIXTURE. REFER TO ELECTRICAL LIGHTING PLANS FOR ADDITIONAL INFORMATION.
- NEW 1'x4' WALL PACK. REFER TO ELECTRICAL LIGHTING PLANS FOR ADDITIONAL INFORMATION.
- ⊠ NEW HVAC DIFFUSER. REFER TO MECHANICAL PLANS FOR ADDITIONAL INFORMATION.
- NEW SPRINKLER. REFER TO SPRINKLER PLANS FOR ADDITIONAL INFORMATION.
- ⊕ NEW EXIT SIGN. REFER TO ELECTRICAL PLANS FOR ADDITIONAL INFORMATION.
- VS NEW VACANCY SENSOR. REFER TO ELECTRICAL PLANS FOR ADDITIONAL INFORMATION.
- OS NEW OCCUPANCY SENSOR. REFER TO ELECTRICAL PLANS FOR ADDITIONAL INFORMATION.
- DS NEW DAYLIGHT SENSOR. REFER TO ELECTRICAL PLANS FOR ADDITIONAL INFORMATION.

LEGEND

- CT-1 CEILING TYPE (SEE CEILING TYPES LEGEND)
- 8'-0" CEILING HEIGHT ABOVE FINISHED FLOOR

1 REFLECTED CEILING PLAN - GROUND FLOOR
1/8"=1'-0"

Revisions:

1	ADDENDUM 1	02/23/2023
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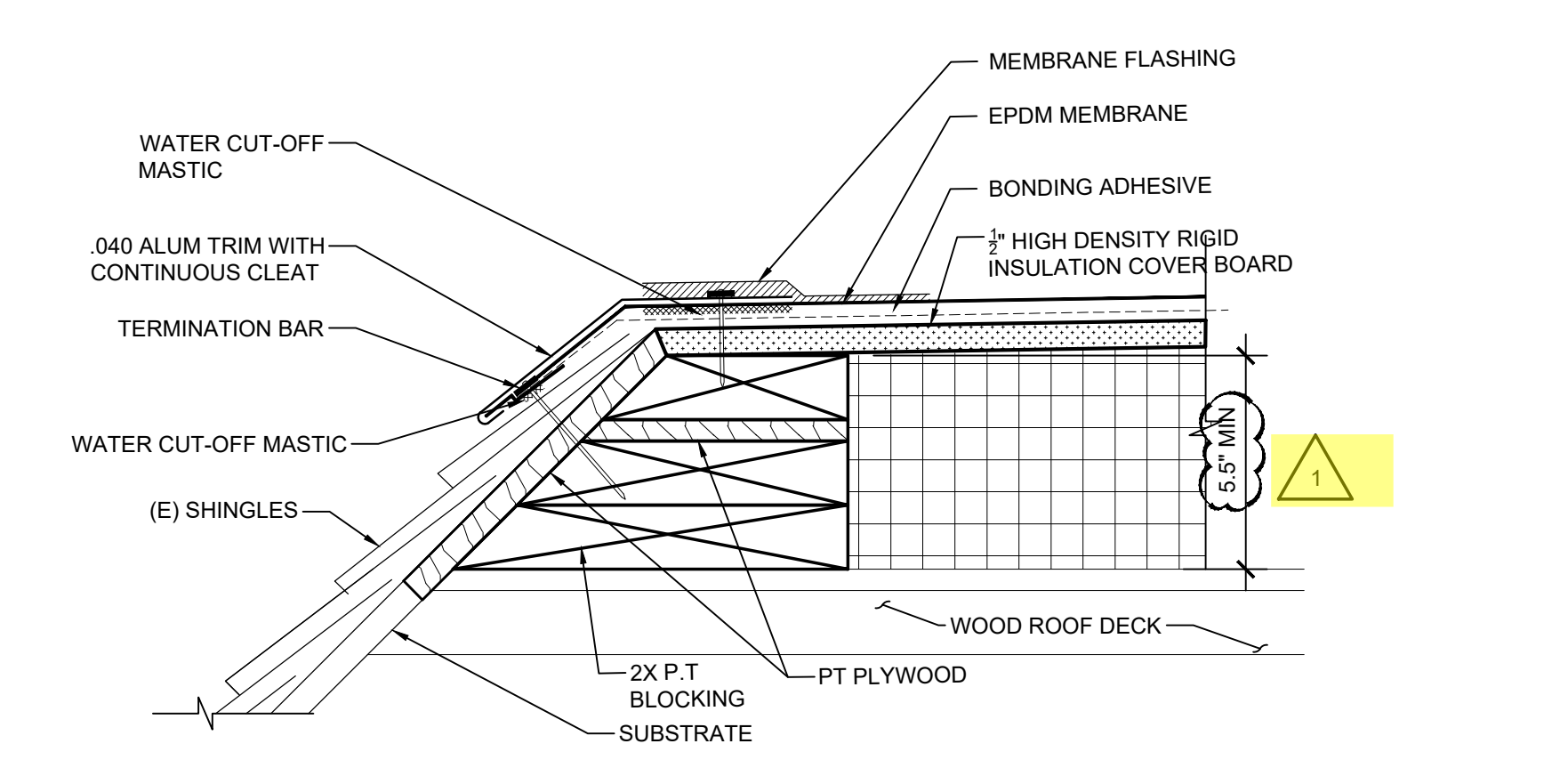
NJ Certificate of Authorization
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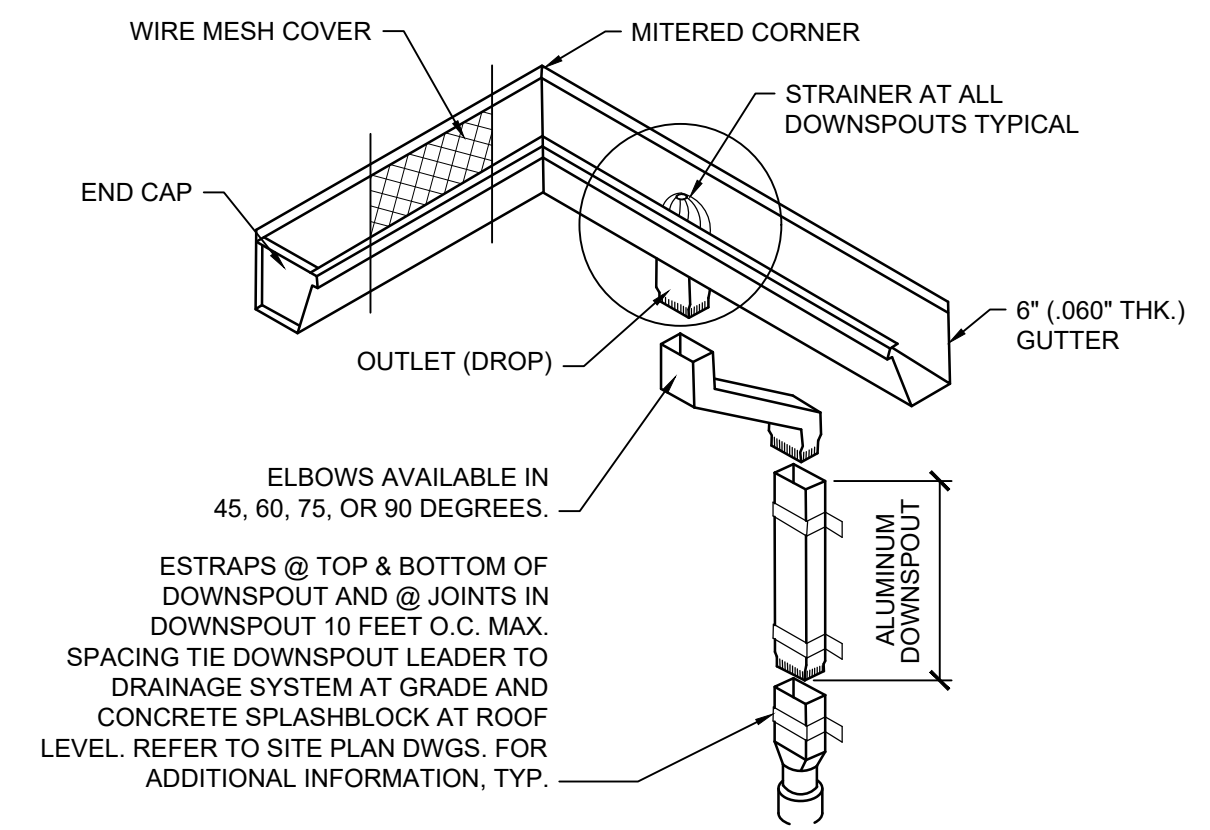
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LAN ASSOCIATES
 445 Goodwin Ave Ste 9, Midland Park, NJ 07432 | 1.201-447-6400 | 1.201-447-1233

State Project#: 3880-070-01-0969-S DCA Project#: 6506-1B
REFLECTED CEILING PLAN - GROUND FLOOR
 CLEVELAND STREET ELEMENTARY SCHOOL
 ORANGE BOARD OF EDUCATION
 355 CLEVELAND STREET
 ORANGE, NEW JERSEY 07050

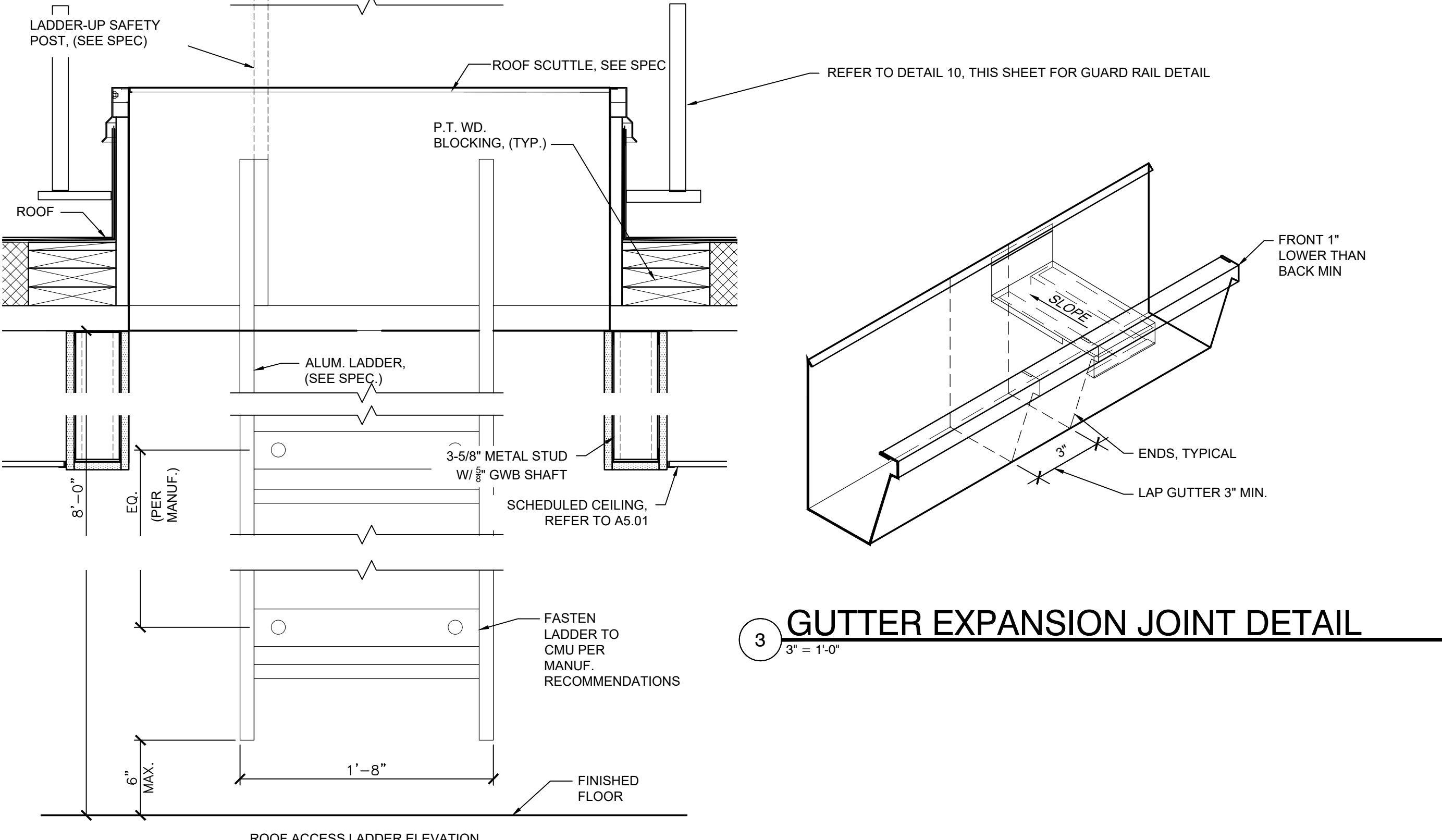
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 File No. 2020601A501
A5.01



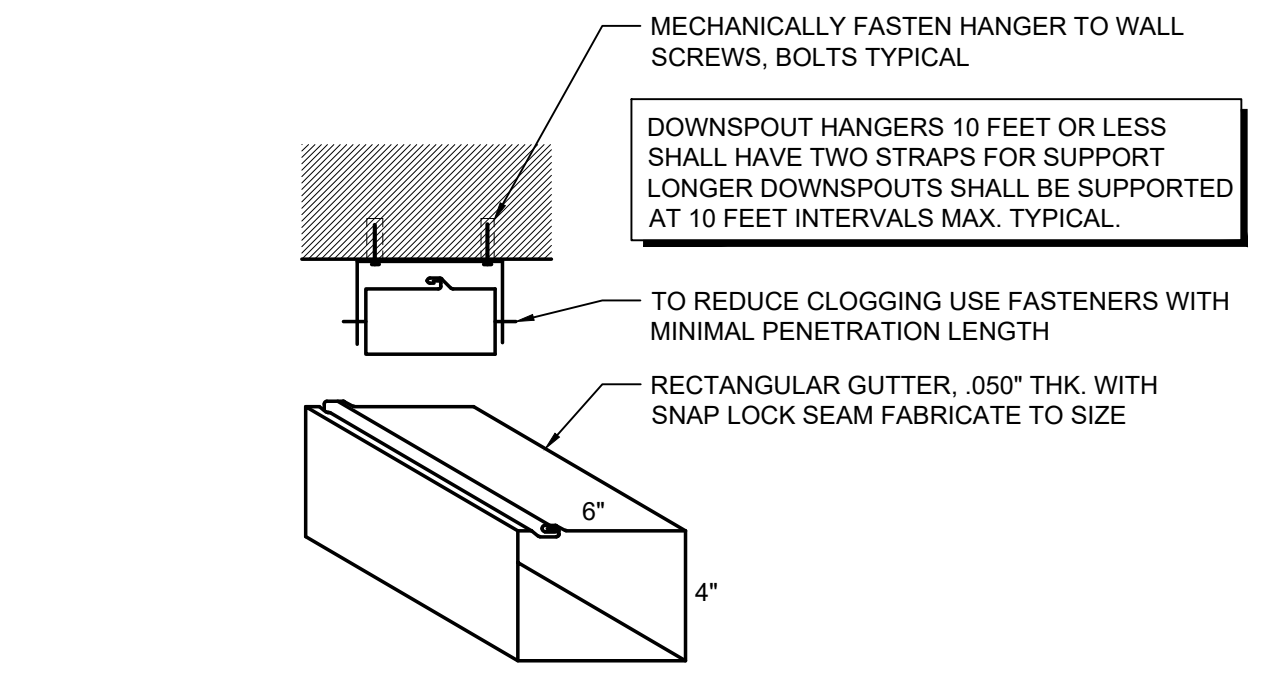
1 ASPHALT SHINGLE TRANSITION FLASHING DETAIL
3" = 1'-0"



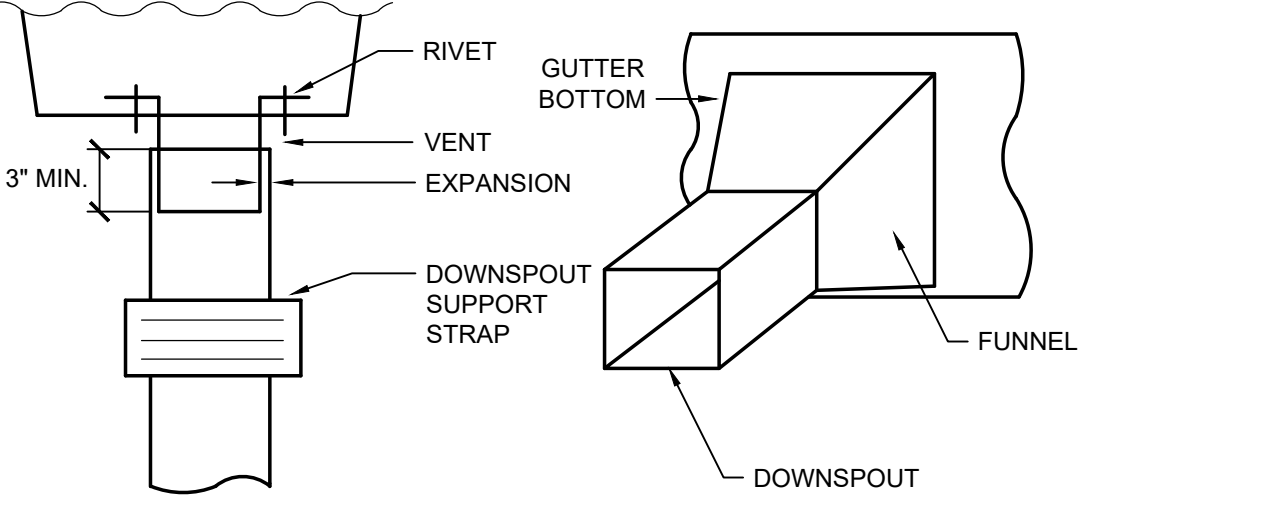
2 GUTTER DOWNSPOUT ASSEMBLY
3" = 1'-0"



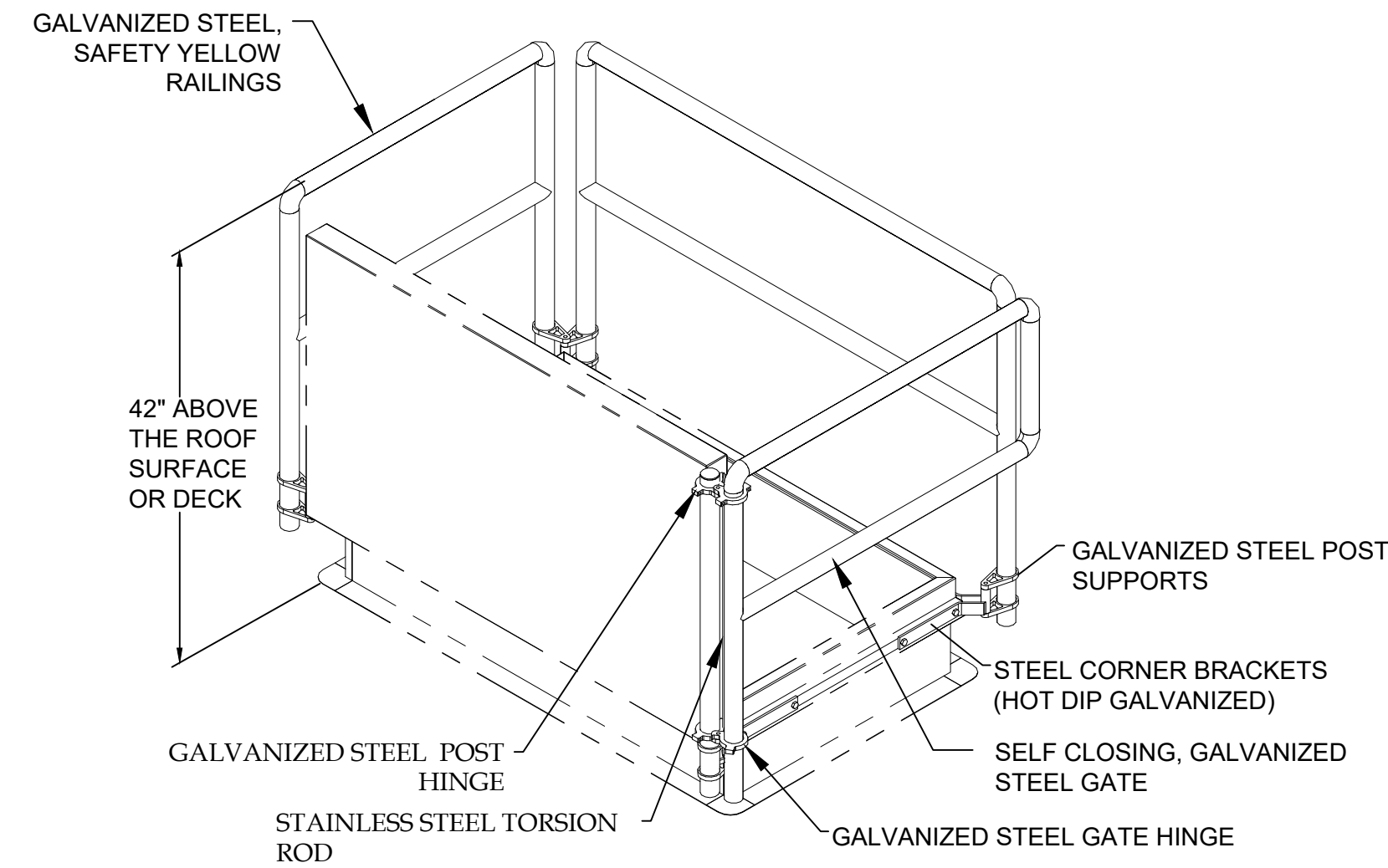
3 GUTTER EXPANSION JOINT DETAIL
3" = 1'-0"



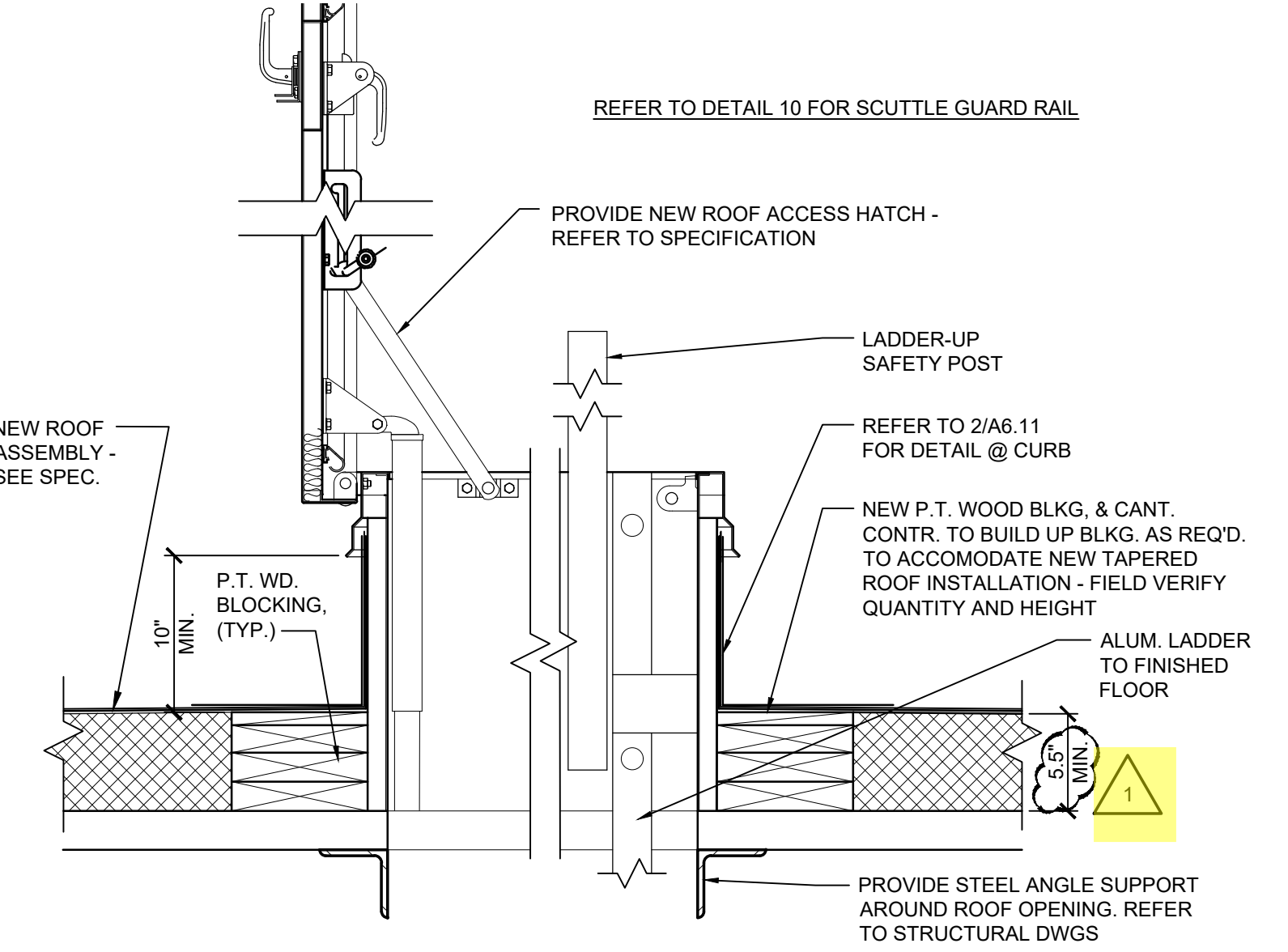
5 DOWNSPOUT HANGER DESIGN
3" = 1'-0"



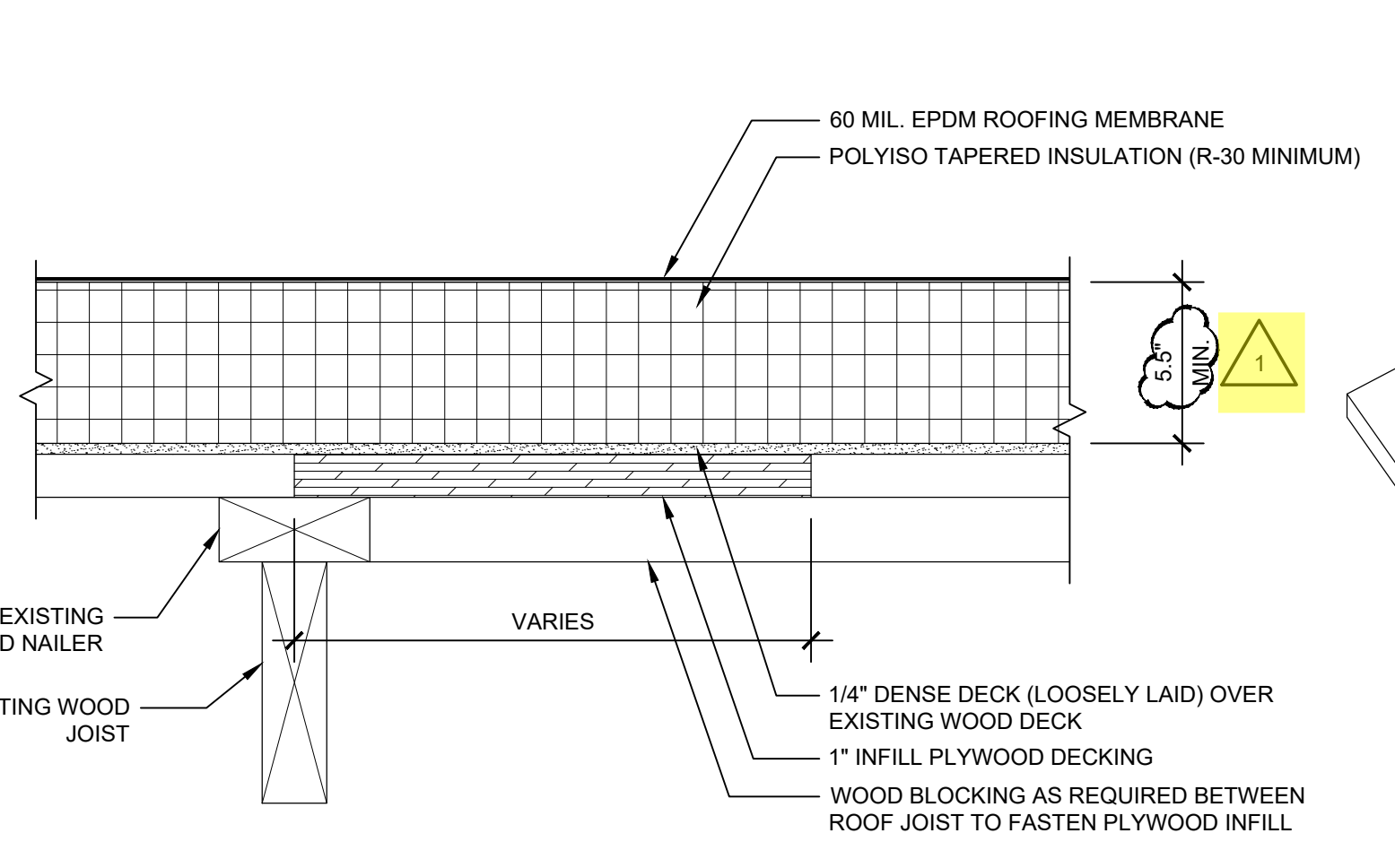
4 DOWNSPOUT GUTTER CONNECTION
3" = 1'-0"



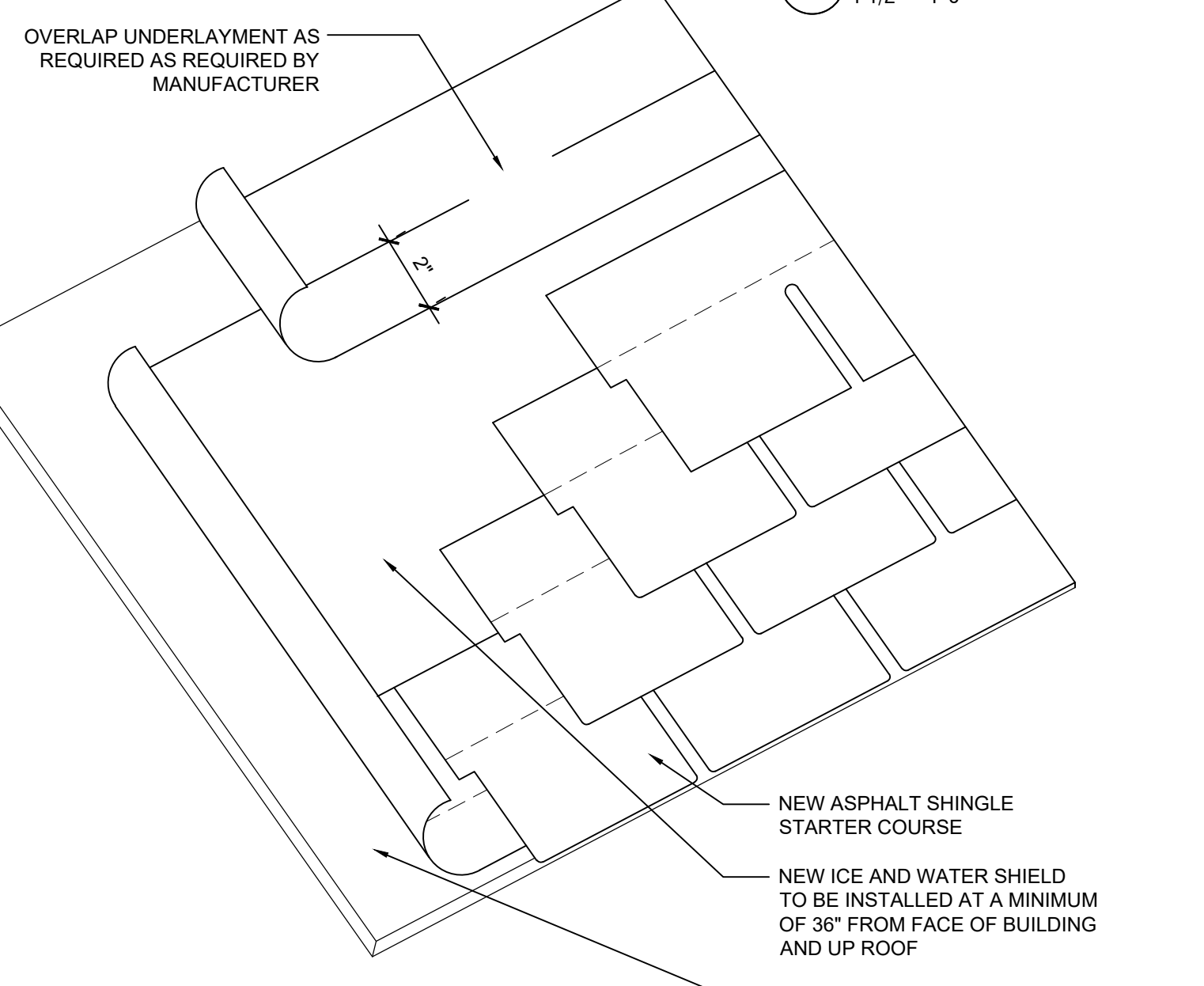
10 ROOF HATCH GUARD RAIL
1 1/2" = 1'-0"



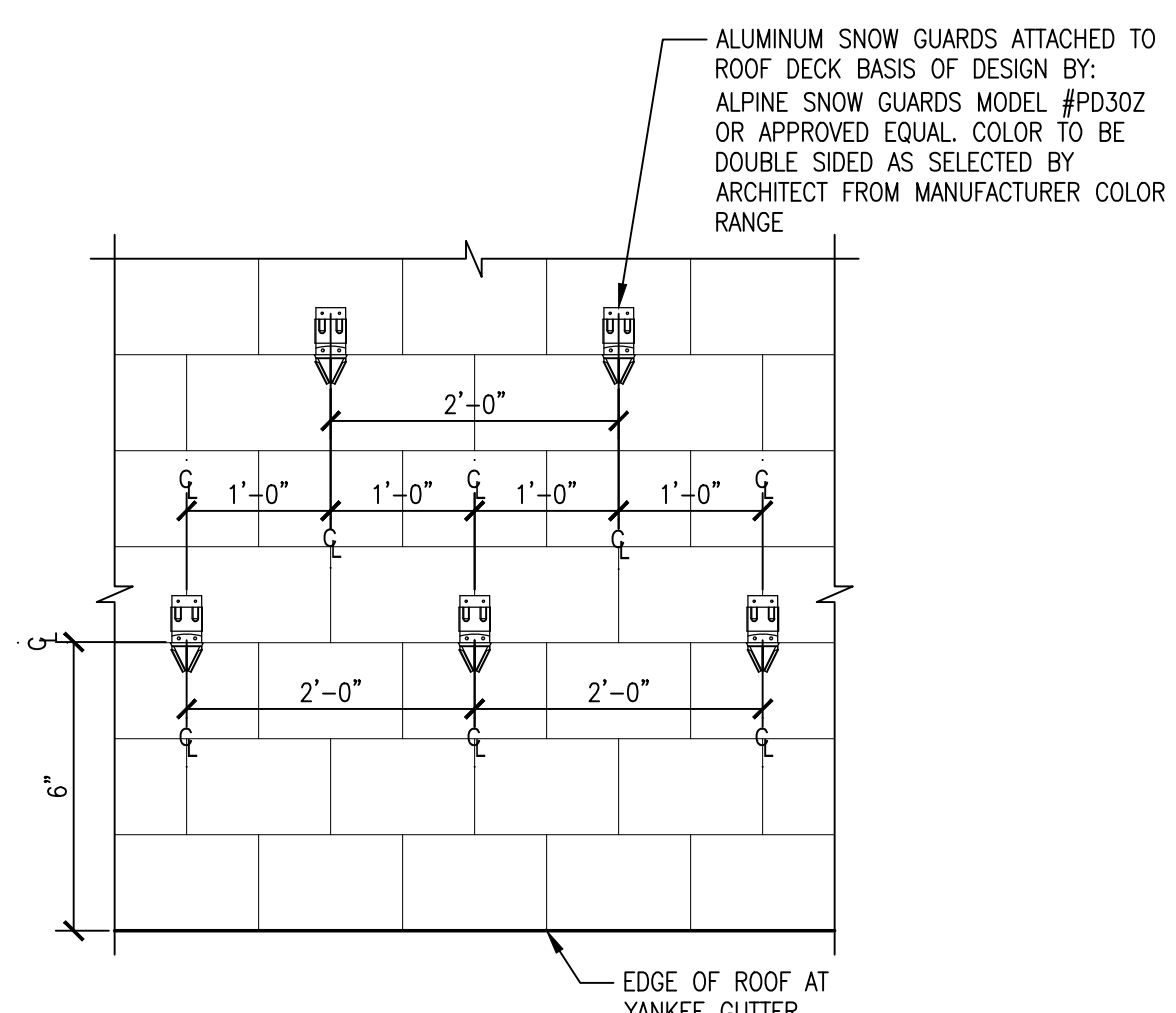
6 ROOF SCUTTLE DETAIL
1 1/2" = 1'-0"



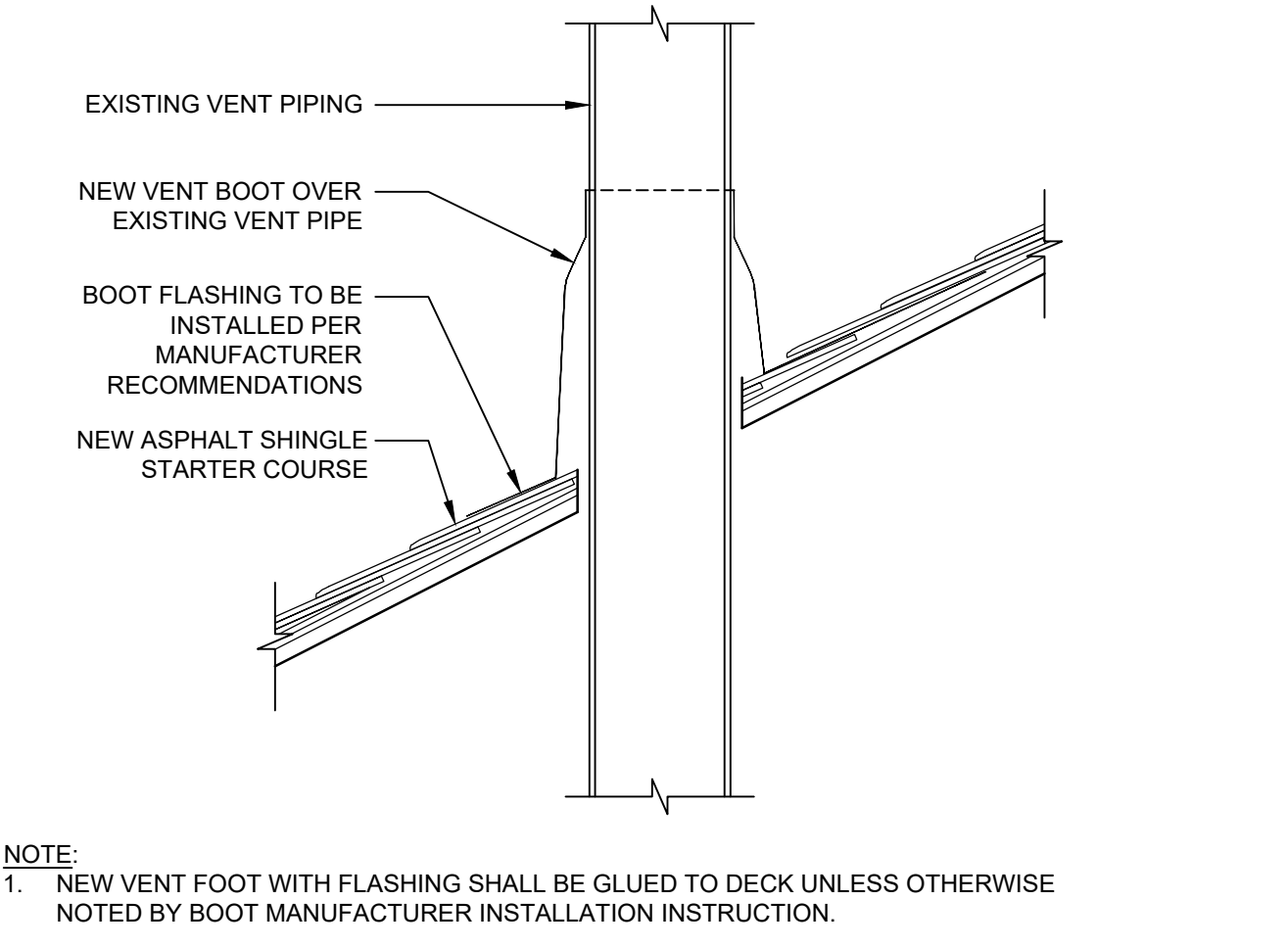
7 TYPICAL WOOD DECK INFILL DETAIL
3" = 1'-0"



8 ASPHALT SHINGLE ROOFING DETAIL
3" = 1'-0"



6A SNOW GUARD MOUNTING DETAIL
1 1/2" = 1'-0"



9 PLUMBING VENT DETAIL @ SHINGLE ROOF
3" = 1'-0"

Revisions:	
1	ADDENDUM 1 02/23/2023

NY Certificate of Authorization	
Eng'r. Nos.	GA2/8878
Arch. Nos.	AC124
Date	11/04/22
Checked	JS
Drawn	RC

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License No. NJ21A00890600
1.201-447-8400 | 1.201-447-1233

Engineering,
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Architecture,
Surveying Inc.
445 Godwin Ave Ste 9, Midland Park, NJ 07432

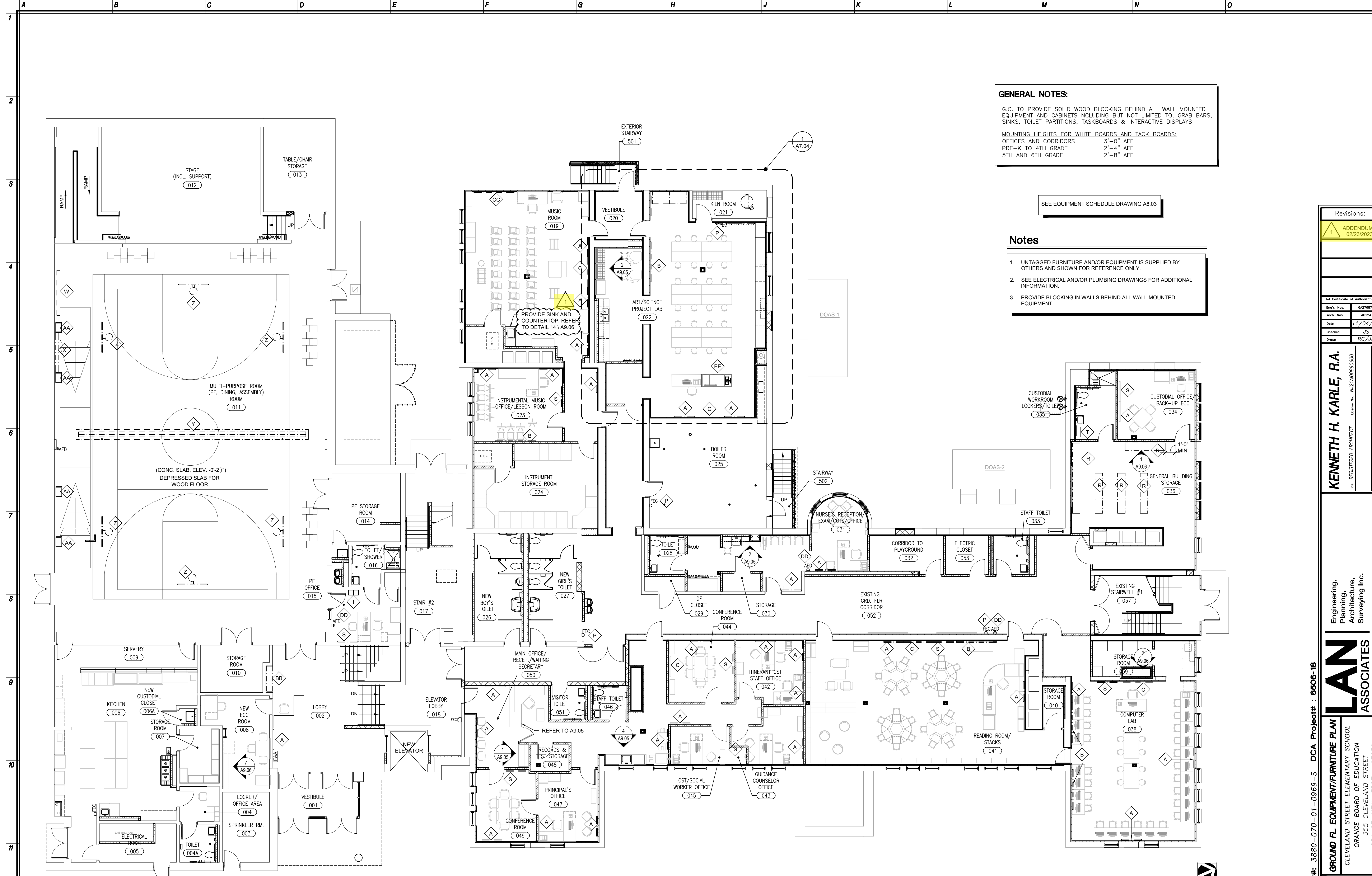
LAN ASSOCIATES
445 Godwin Ave Ste 9, Midland Park, NJ 07432

ROOF DETAILS
CLEVELAND STREET ELEMENTARY SCHOOL
ORANGE BOARD OF EDUCATION
355 CLEVELAND STREET
ORANGE, NEW JERSEY 07050

Job No.	20206.01
File No.	2020601A612

State Project#: 3880-070-01-0969-S DCA Project#: 6506-B

A6.12



GENERAL NOTES:

G.C. TO PROVIDE SOLID WOOD BLOCKING BEHIND ALL WALL MOUNTED EQUIPMENT AND CABINETS INCLUDING BUT NOT LIMITED TO, GRAB BARS, SINKS, TOILET PARTITIONS, TASKBOARDS & INTERACTIVE DISPLAYS

MOUNTING HEIGHTS FOR WHITE BOARDS AND TACK BOARDS:
 OFFICES AND CORRIDORS 3'-0" AFF
 PRE-K TO 4TH GRADE 2'-4" AFF
 5TH AND 6TH GRADE 2'-8" AFF

SEE EQUIPMENT SCHEDULE DRAWING A8.03

- Notes**
1. UNTAGGED FURNITURE AND/OR EQUIPMENT IS SUPPLIED BY OTHERS AND SHOWN FOR REFERENCE ONLY.
 2. SEE ELECTRICAL AND/OR PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
 3. PROVIDE BLOCKING IN WALLS BEHIND ALL WALL MOUNTED EQUIPMENT.

PROVIDE SINK AND COUNTERTOP. REFER TO DETAIL 14.1 A9.06

1 EQUIPMENT/FURNITURE PLAN - GROUND FLOOR
1/8"=1'-0"

Revisions:
 1 ADDENDUM 1 02/23/2023

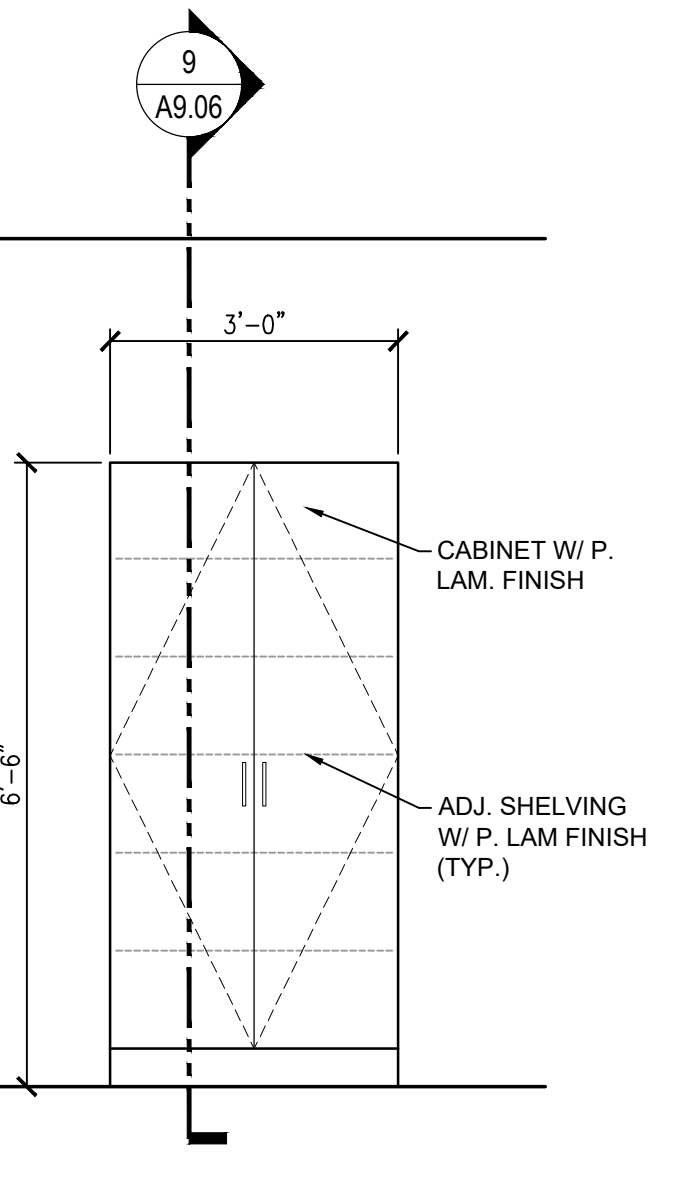
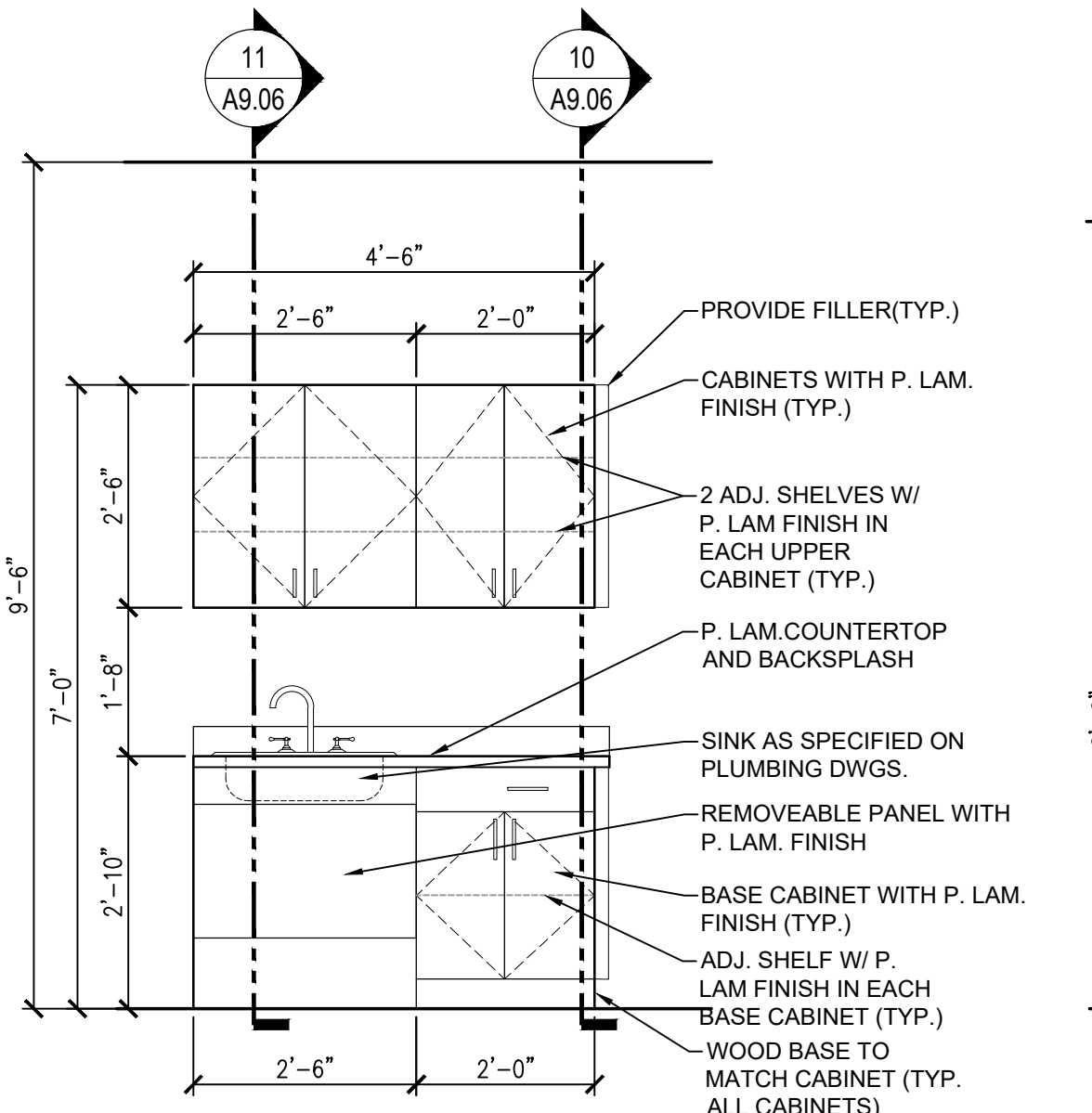
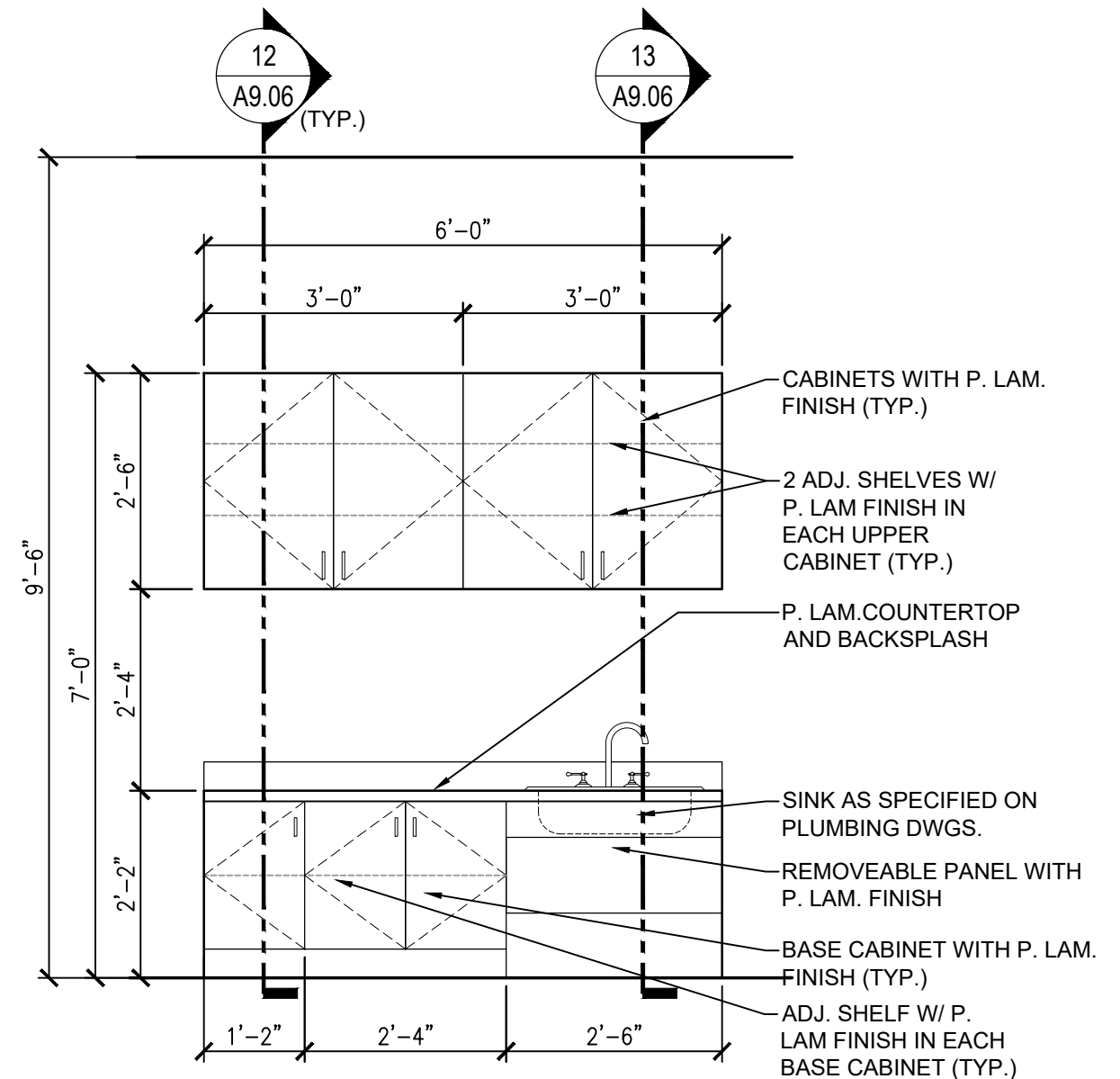
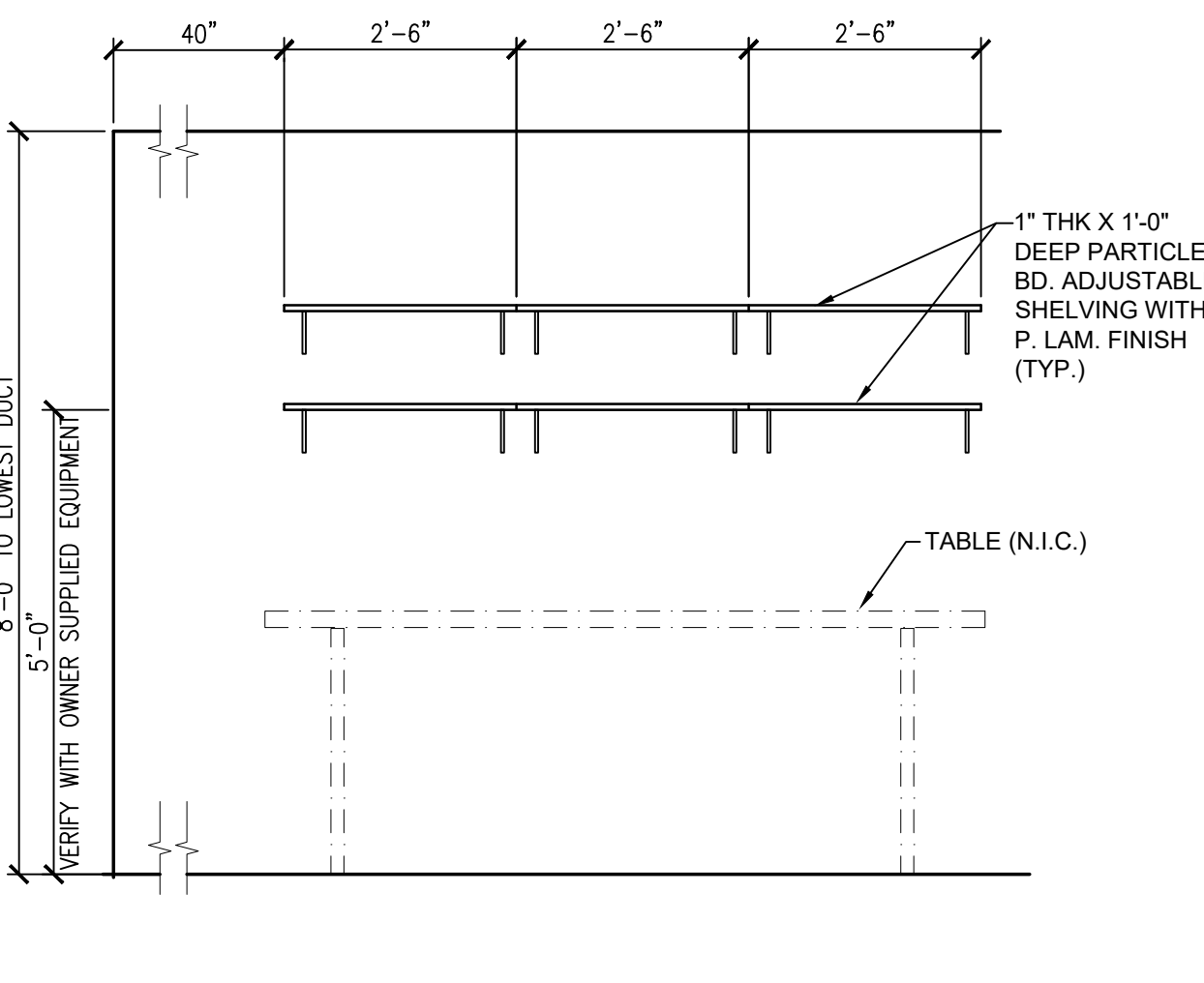
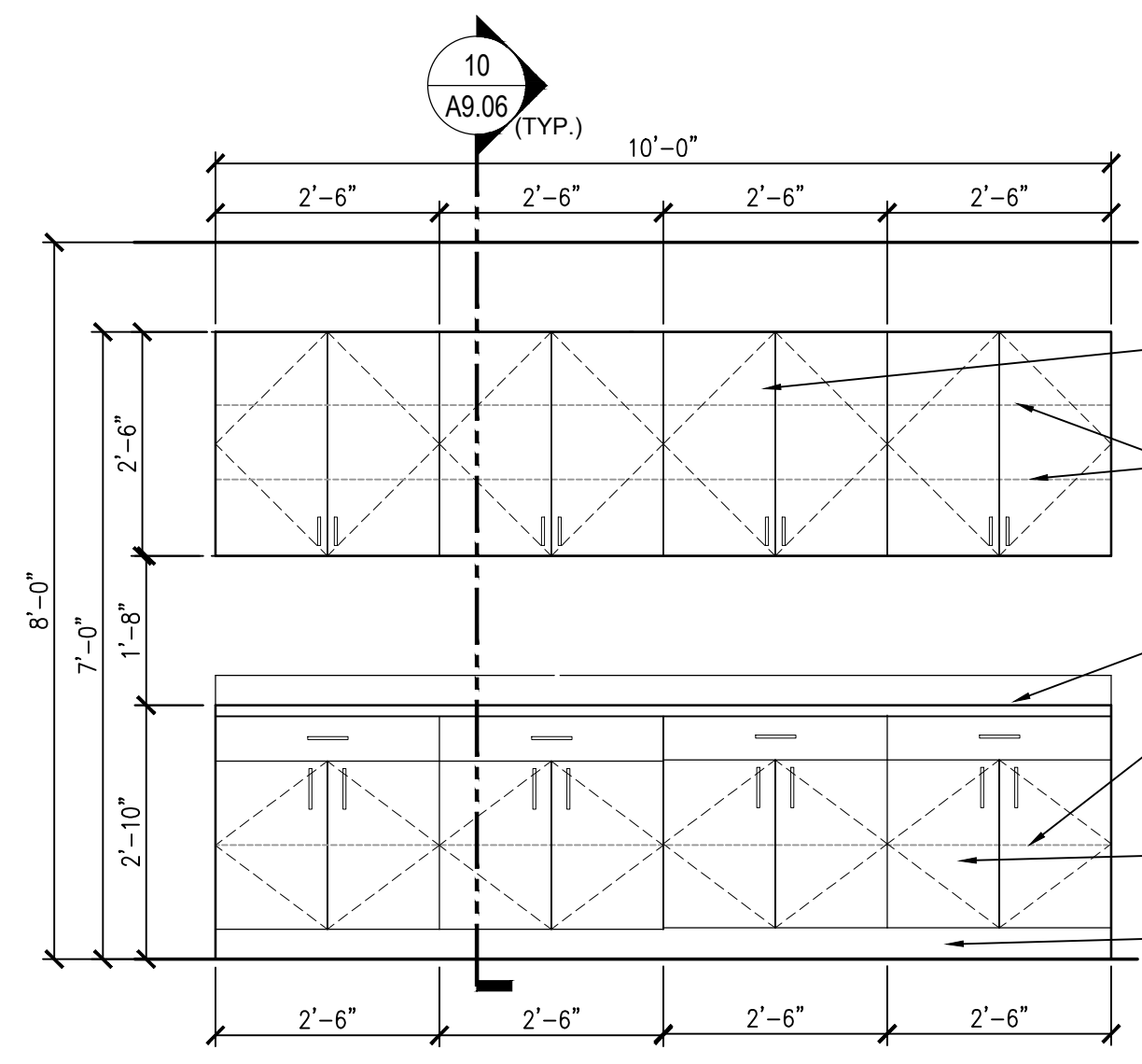
NI Certificate of Authorization
 Eng'r. No. G27878
 Arch. No. A2124
 Date 11/04/22
 Checked JS
 Drawn RC/JA

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Engineering, Planning, Architecture, Surveying Inc.
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 GROUND FL. EQUIPMENT/FURNITURE PLAN
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 355 CLEVELAND STREET
 ORANGE, NEW JERSEY 07050

State Project#: 3880-070-01-0969-S DCA Project#: 6506-18
 Job No. 20206.01
 File No. 2020601A801

A8.01



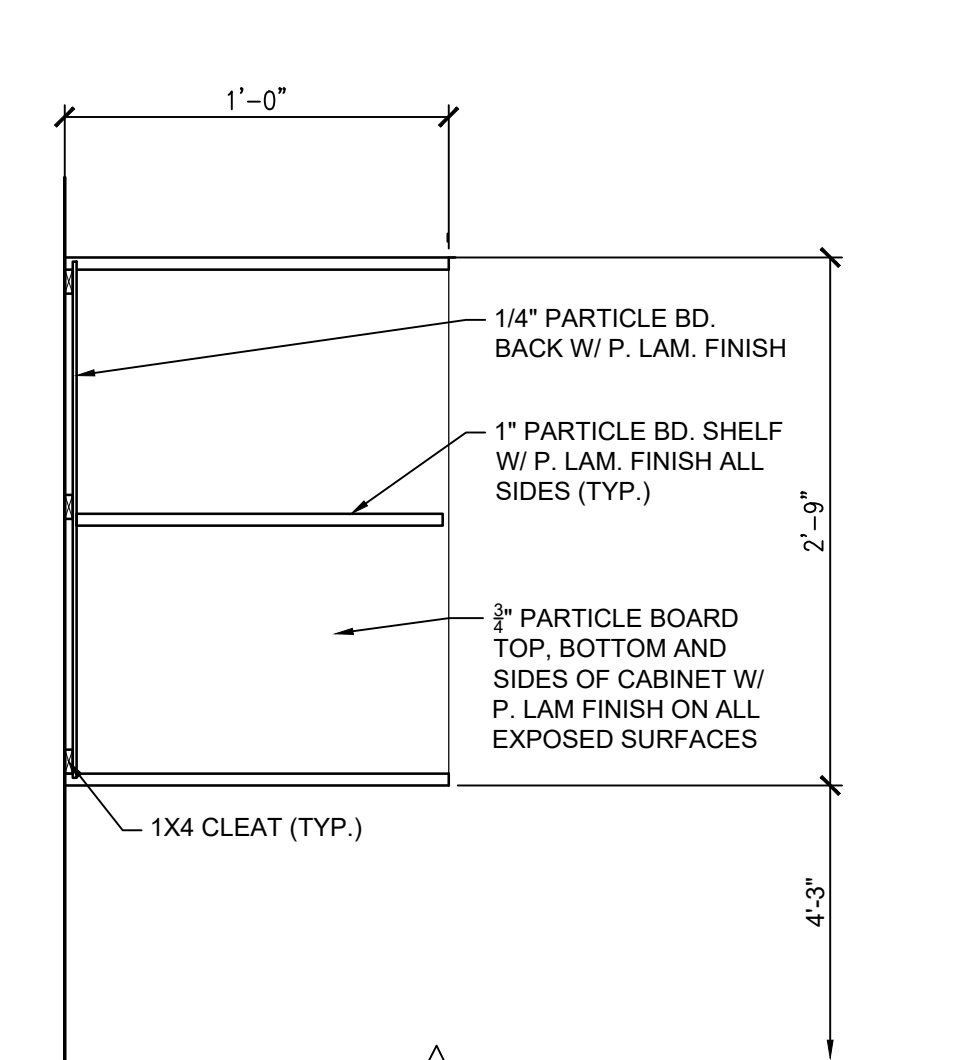
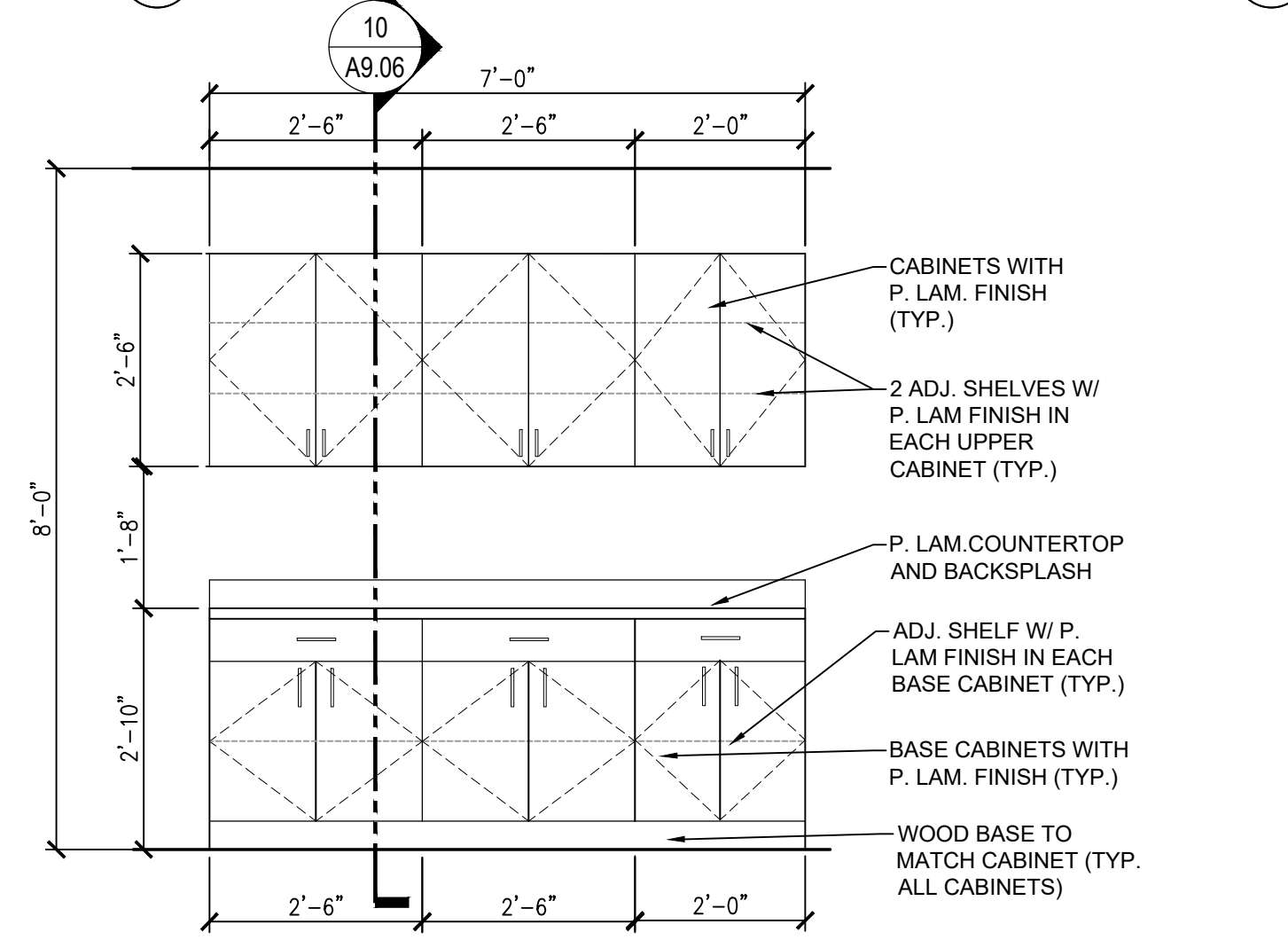
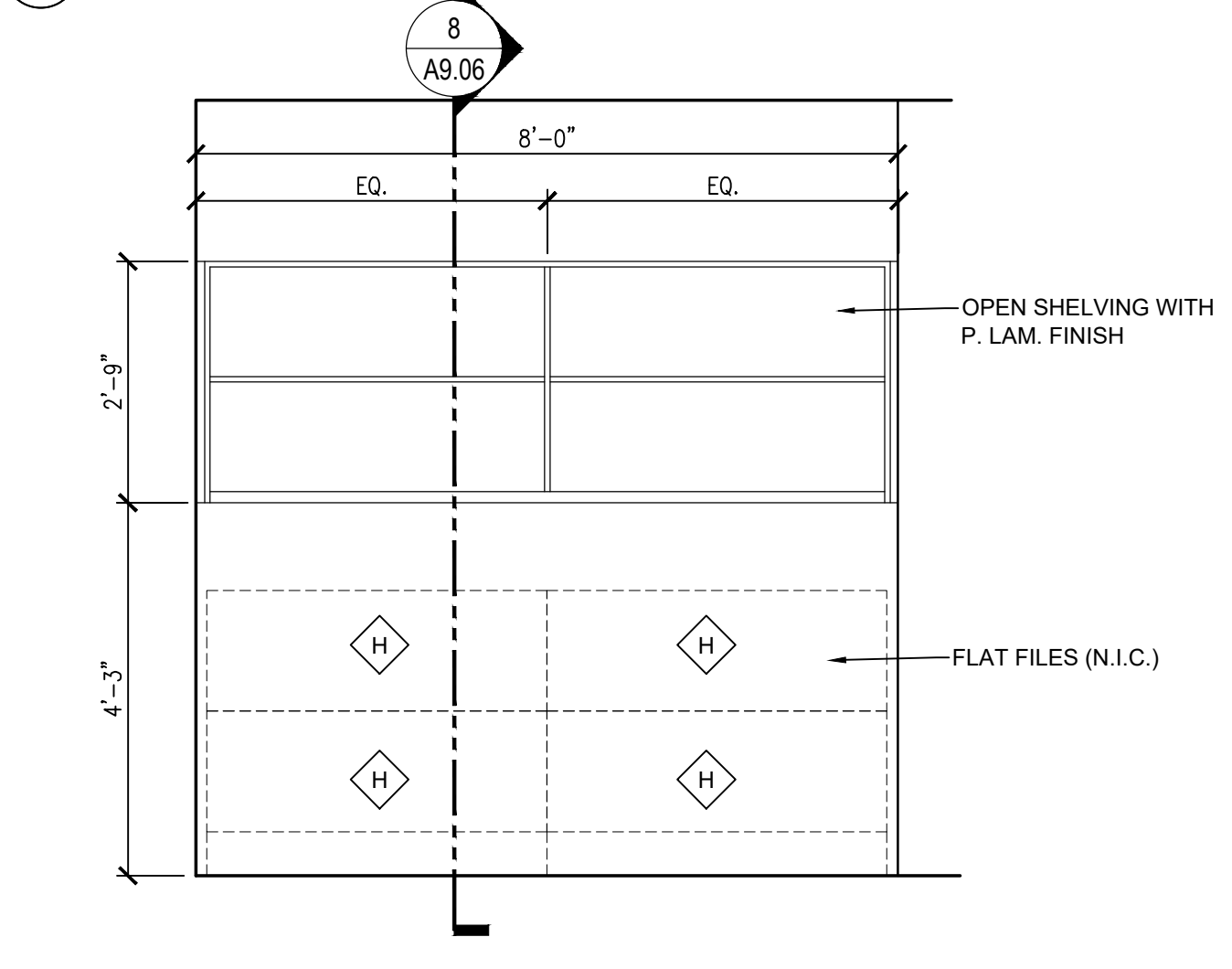
1 MILLWORK ELEVATION AT CUSTODIAL OFFICE 036
1/2"=1'-0"

2 MILLWORK ELEVATION AT STORAGE ROOM 039
1/2"=1'-0"

3 MILLWORK ELEVATION AT PRE-KINDERGARTEN & KINDERGARTEN CLASSROOMS 113, 117, 120 & 123
1/2"=1'-0"

4 MILLWORK ELEVATION AT SCSE CLASSROOM 223
1/2"=1'-0"

5 MILLWORK ELEVATION AT ART/SCIENCE CLASSROOM 022
1/2"=1'-0"

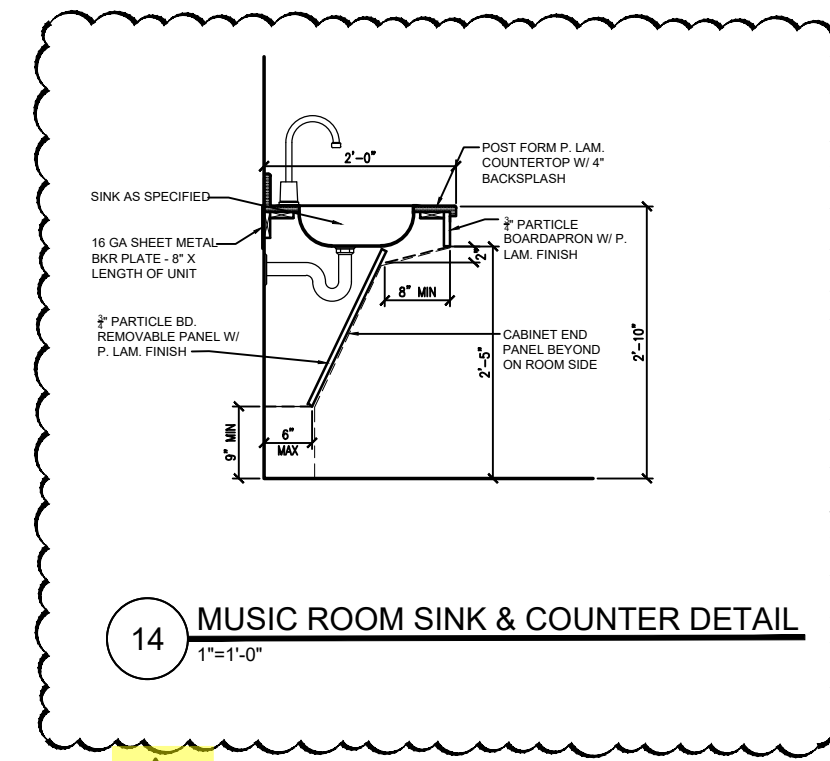


GENERAL MILLWORK NOTES:

1. ALL EXPOSED MILLWORK SURFACES TO BE FINISHED UNLESS OTHERWISE NOTED.
2. ALL CABINETS TO BE LOCKABLE UNLESS OTHERWISE NOTED.

GENERAL NOTE:

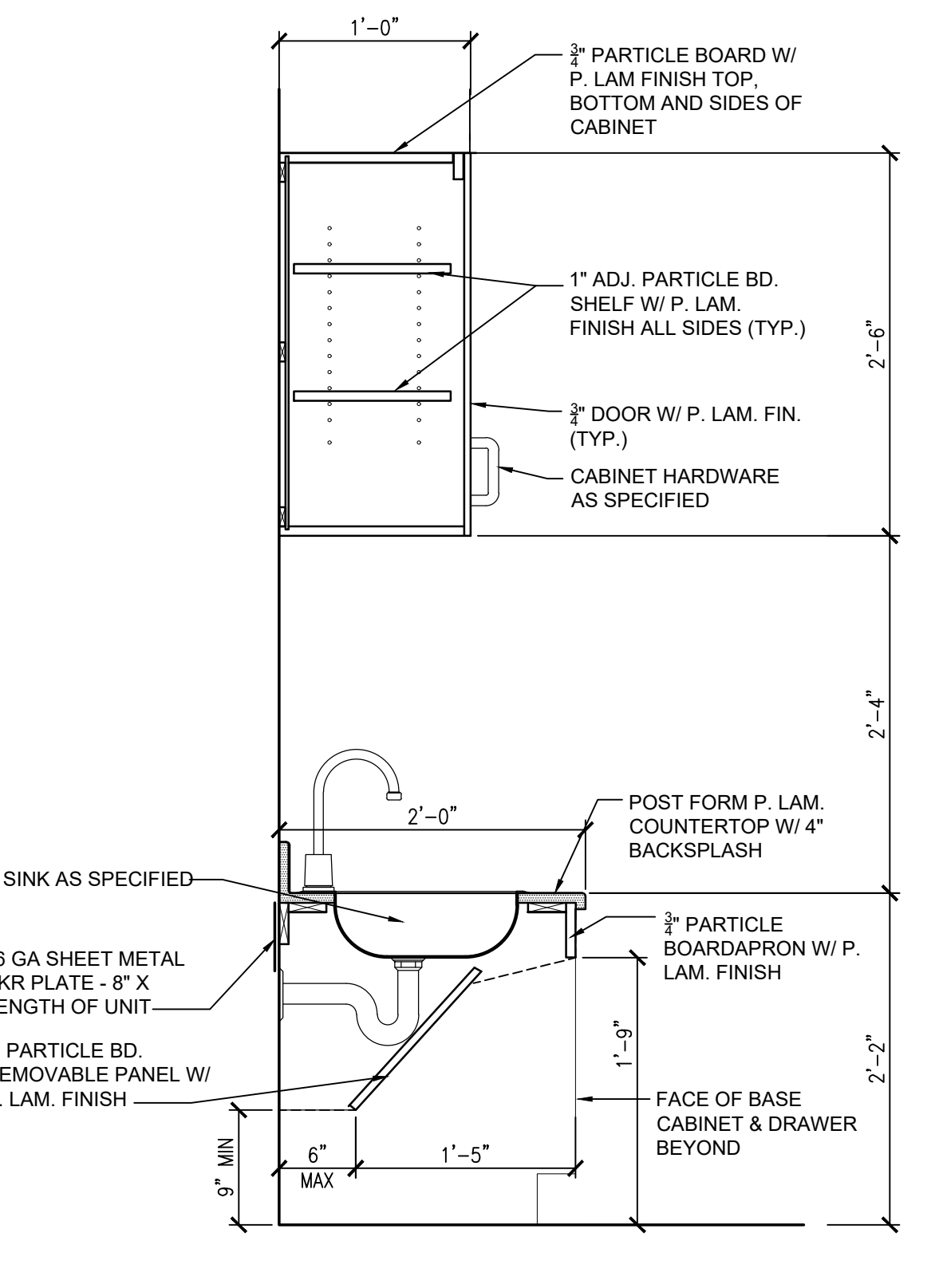
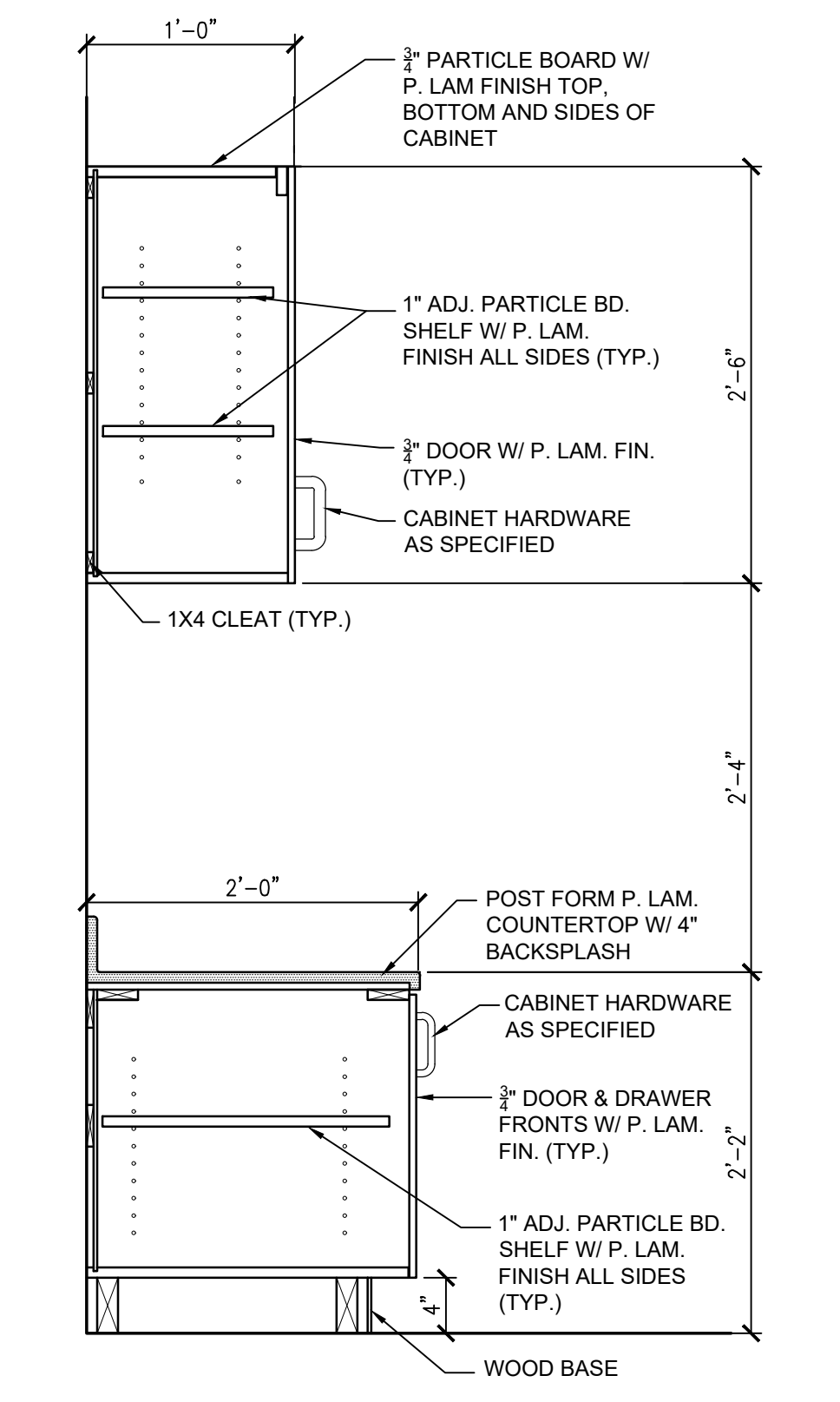
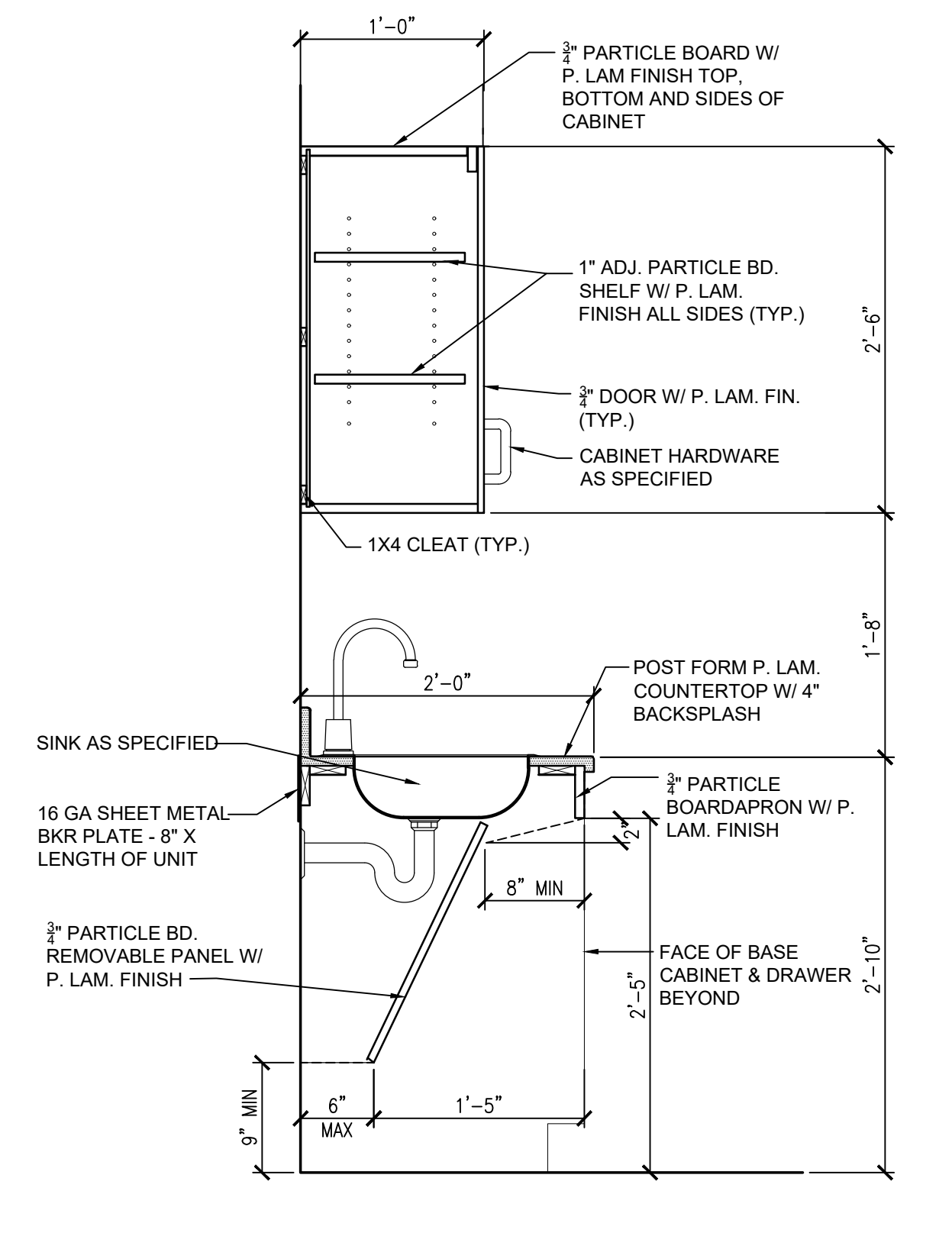
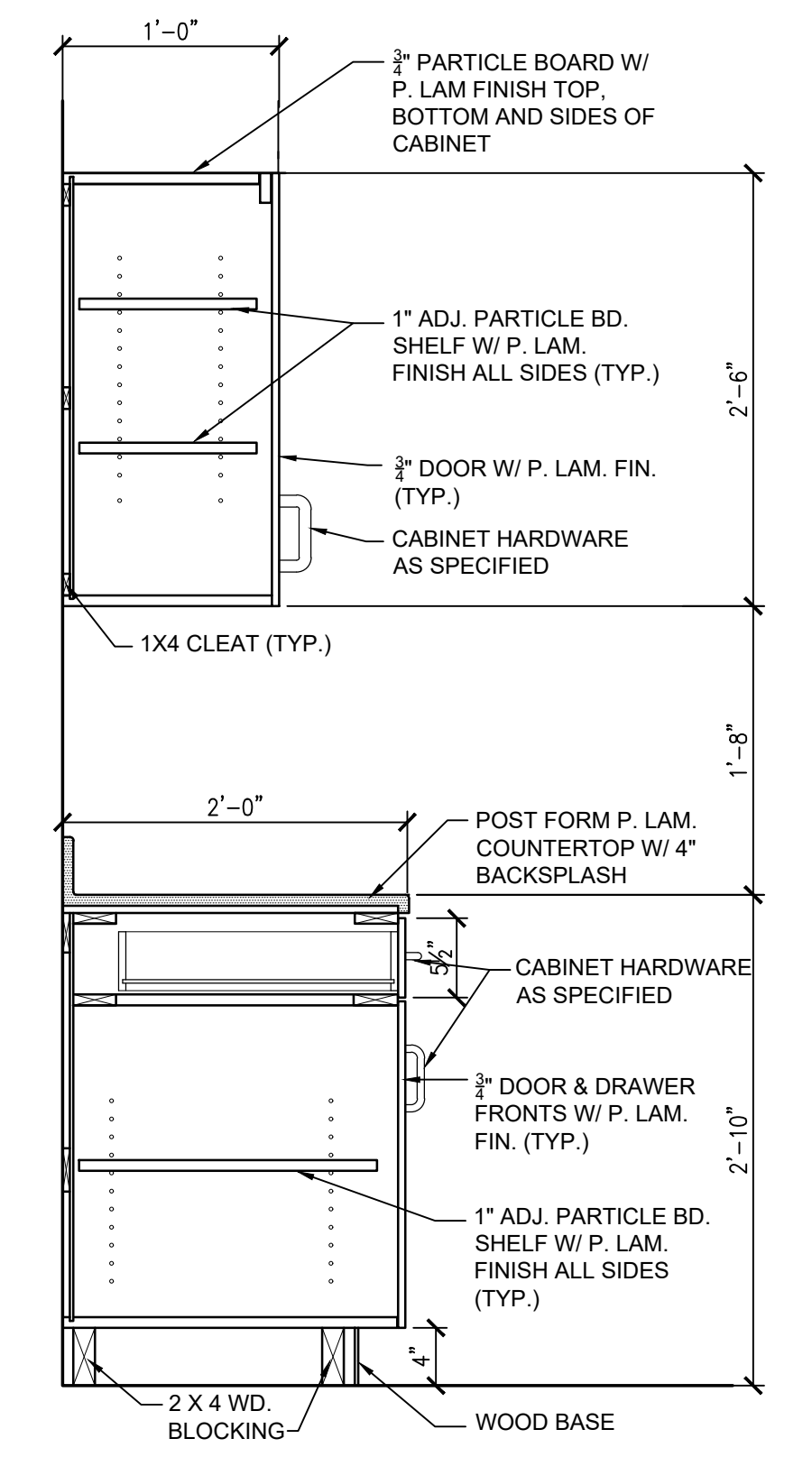
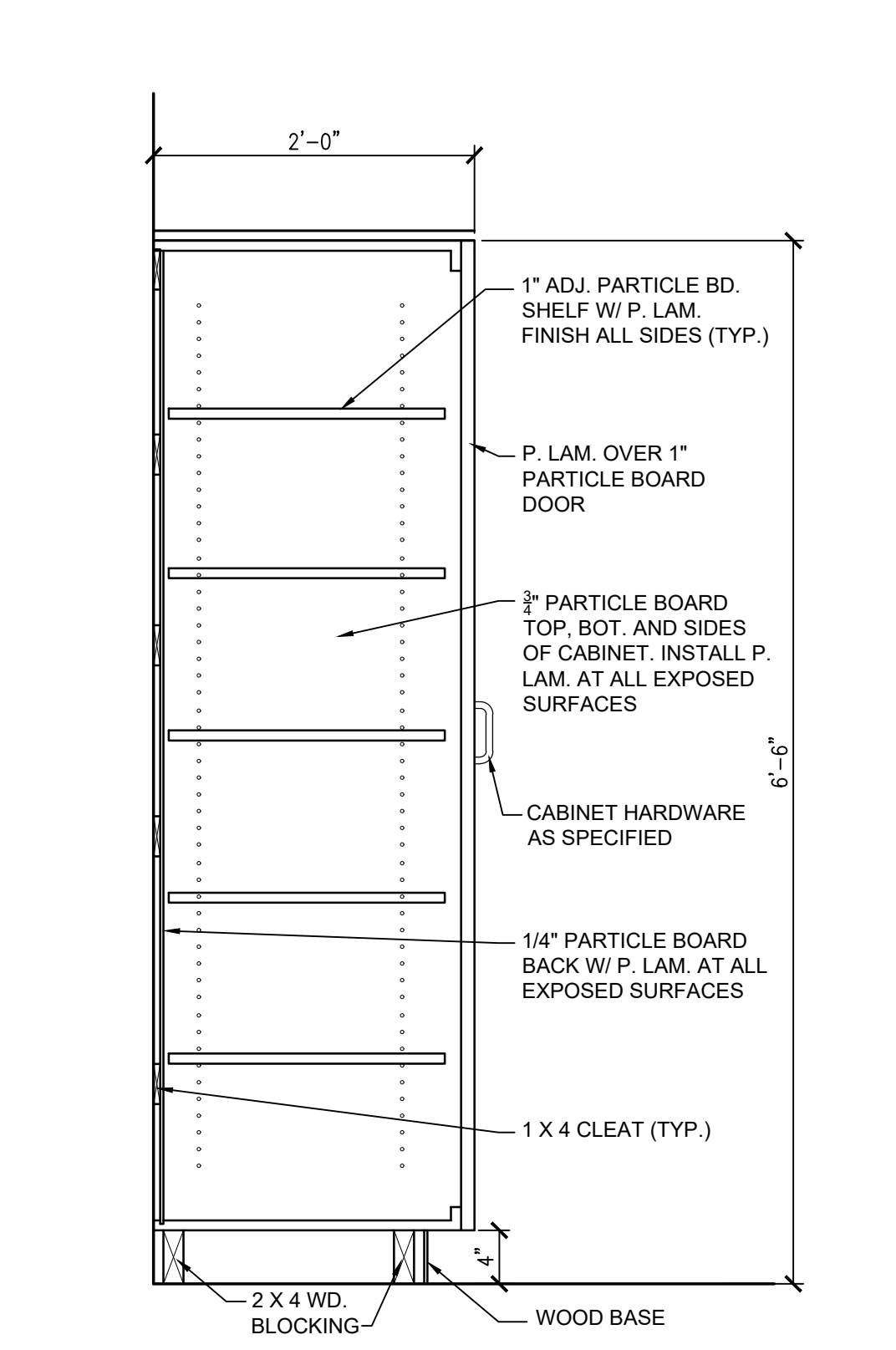
G.C. TO PROVIDE SOLID WOOD BLOCKING BEHIND ALL WALL MOUNTED EQUIPMENT AND CABINETS INCLUDING BUT NOT LIMITED TO, GRAB BARS, SINKS, TOILET PARTITIONS, TASKBOARDS & INTERACTIVE DISPLAYS



6 MILLWORK ELEVATION AT ART/SCIENCE CLASSROOM 022
1/2"=1'-0"

7 MILLWORK ELEVATION AT ECC ROOM 008
1/2"=1'-0"

8 MILLWORK SECTION @ OPEN SHELVES
1/2"=1'-0"



9 MILLWORK SECTION AT STORAGE CABINET
1/2"=1'-0"

10 MILLWORK SECTION AT BASE & WALL CABINETS
1/2"=1'-0"

11 MILLWORK SECTION AT SINK BASE & WALL CABINETS
1/2"=1'-0"

12 MILLWORK SECTION AT KINDERGARTEN CABINETS
1/2"=1'-0"

13 MILLWORK SECTION AT KINDERGARTEN SINK CABINETS
1/2"=1'-0"

Revisions:	
1	ADDENDUM 1 02/23/2023

NY Certificate of Authorization	
Eng'r. No.	GA27878
Arch. No.	AC124
Date	11/04/22
Checked	RS
Drawn	DB

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MILLWORK ELEVATIONS AND DETAILS
CLEVELAND STREET ELEMENTARY SCHOOL
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355 CLEVELAND STREET
ORANGE, NEW JERSEY 07050

Job No. 20206.01
File No. 2020601A906

A9.06

State Project#: 3880-070-01-0969-S DCA Project#: 6506-18